

1. Requested Motion:

Meeting Date: January 21, 2014

Motion to APPROVE/DENY the request for a special exception (SEZ2013-0004) for an upland retaining wall seaward of the 1978 Coastal Construction Control Line in the ENVIRONMENTALLY CRITICAL Zoning District with conditions 1-6 as contained in the draft Resolution 14-02.

Why the action is necessary:

The Land Development Code requires all special exceptions to be approved by Town Council.

What the action accomplishes:

Approves a special exception use for the subject property.

2. Agenda:

- Consent
- Administrative
- Public Hearing

3. Requirement/Purpose:

- Resolution
- Ordinance
- Other

4. Submitter of Information:

- Council
- Town Staff
- Town Attorney

5. Background:

Case: SEZ2013-0004 Leonardo Arms Special Exception

Applicant Humiston and Moore Engineers, acting as agent for Leonardo Arms Unit II, is requesting a Special Exception for a 300' +/- upland retaining wall seaward of the 1978 Coastal Construction Control Line in the Environmentally Critical Zoning District.

Leonardo Arms is a condominium property located at 7400 Estero Blvd Fort Myers Beach. Seaward of the subject property line is the Little Estero Island Critical Wildlife Area. Leonardo Arms Unit II has a total land area of 1.8 acres and 250' of frontage along the Gulf of Mexico. The 300' +/- upland retaining wall is to protect the upland property from erosion. The applicant is also proposing construction of a dune feature seaward of the upland retaining wall.

The LPA held a public hearing on the request at their December 10, 2013 meeting. Staff presented its case along with a recommendation for approval with conditions (see LPA resolution). LPA had a question and answer period with the applicant, heard public comment, and asked questions of Staff and the applicant. LPA voted 5-0 (Member Durrett had an excused absence and Member Steele had an abstention) to recommend approval.

Attachments:

- Tab A - Draft Council Resolution 14-02
- Tab B - LPA Resolution 2013-023
- Tab C - Draft LPA minutes from the December 10, 2013 (anticipated adoption at the January LPA meeting)
- Tab D - Staff Report and exhibits
- Tab E - Application and additional applicant materials

6. Alternative Action:

Council denies the requested special exception for the upland retaining wall and requires the temporary sandbags to be removed.

7. Management Recommendations:

Approve the special exception amendment as conditioned by Staff and the LPA

8. Recommended Approval:

Town Manager	Town Attorney	Finance Director	Public Works Director	Community Development Director	Parks & Recreation Director	Town Clerk
						

9. Council Action:

Approved Denied Deferred Other

RESOLUTION OF THE TOWN COUNCIL OF
THE TOWN OF FORT MYERS BEACH, FLORIDA
RESOLUTION NUMBER 2014-01
SEZ2013-0004 – Leonardo Arms Special Exception

WHEREAS, Humiston and Moore Engineers, authorized agent for the owner of property located at 7400 Estero Boulevard Fort Myers Beach, Florida has requested a special exception for an upland retaining wall seaward of the 1978 Coastal Construction Control Line in the Environmentally Critical Zoning District, and

WHEREAS, the subject property is located in the Mixed Residential Future Land Use Category of the Comprehensive Plan of the Town of Fort Myers Beach and the proposed location of the upland retaining wall is located in the Recreation Future Land Use Category; and

WHEREAS, the STRAP number for the subject property are 03-47-24-W4-02100.00CE and the legal description is attached as *Exhibit A*; and

WHEREAS, a public hearing was held before the Local Planning Agency (LPA) on December 10, 2013; and

WHEREAS, at the hearing the LPA gave full and complete consideration to the request of Applicant, recommendations of staff, the documents in the file, and the testimony of all interested persons, as required by Fort Myers Beach Land Development Code (LDC) Section 34-88.

WHEREAS, a public hearing on this matter was legally advertised and held before the Town Council on January 21, 2014, at which time the Town Council gave full and complete consideration to the request of Applicant, LPA Resolution 2013-023, the recommendations of Staff, the documents in the file, and the testimony of all interested persons, as required by LDC Section 34-88.

IT IS HEREBY RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF FORT MYERS BEACH, FLORIDA, as follows:

The Town Council **APPROVES/DENIES** the request for a Special Exception to allow construction of a 300' +/- upland retaining wall adjacent to Unit II that is seaward of the 1978 Coastal Construction Control Line in the Environmentally Critical Zoning District as generally depicted in the preliminary permit plans attached hereto and incorporated herein as *Exhibit B* subject to the following conditions:

CONDITIONS FOR APPROVAL:

1. If the building is ever demolished due to redevelopment or acts of nature, the upland retaining wall and rip rap must be removed and the property be brought into compliance.

2. For the first three years following construction of the upland retaining wall, should the wall become exposed due to avulsion from a storm event, the dune vegetation must be replanted if the beach naturally returns to its pre-storm profile within 12 months of the storm event. Re-planting shall be from the top of the wall to a maximum seaward distance of 15 feet. Natural recovery shall be considered to reach pre-storm condition, when the area between the wall, the beach profile and Mean High Water Line (MHWL) meets or exceeds that measured for pre-storm conditions.
3. For the first three years following construction of the upland retaining wall, should the wall become exposed due to avulsion from a storm event; the dune shall be restored by means of if the beach does not naturally return to its pre-storm profile within 12-months of the storm event and the dune does not recover. Dune restoration shall be from the top of the wall to a maximum seaward distance of 15 feet. Natural recovery shall be considered to reach pre-storm condition, when the area between the wall, the beach profile and Mean High Water Line (MHWL) meets or exceeds that measured for pre-storm conditions.
4. Daily monitoring is conducted during construction to ensure that wildlife, particularly sea turtles, beach nesting birds, and shorebirds are not impacted by construction activities.
5. The dune vegetation should be planted on 12" by 12" spacing and be composed of native sea oats (*Uniola paniculata*), dune sunflower (*Helianthus debilis var. vestitus*), panic grass (*Panicum amarum*), and railroad vine (*Ipomoea paniculata*).
6. The dune vegetation must achieve 80% plant survival after 6 months.

FINDINGS AND CONCLUSIONS:

In accordance with the requirements of LDC Sections 34-84 and 34-88 regarding approval of special exceptions, the Town Council makes the following findings and reaches the following conclusions:

1. Changed or changing conditions **does/does not** exist that make the requested approval, as conditioned, appropriate;
2. The requested special exception, as conditioned, **is/is not** consistent with the goals, objectives, policies, and intent of the Fort Myers Beach Comprehensive Plan;
3. The requested special exception, as conditioned, **does not meet or exceed/meets or exceeds** all performance and locational standards set forth for the proposed use;
4. The requested special exception, as conditioned, **will/will not** protect, conserve, or preserve environmentally critical areas and natural resources;

5. The requested special exception, as conditioned, **will/will not** be compatible with existing or planned uses and **will/will not** cause damage, hazard, nuisance or other detriment to persons or property;

6. The requested special exception, as conditioned, **will/will not** be in compliance with the applicable general zoning provisions and supplemental regulations pertaining to the use set forth in LDC Chapter 34.

The foregoing Resolution was adopted by the Town Council upon a motion by Councilmember _____ and seconded by Councilmember _____, and upon being put to a vote, the result was as follows:

Alan Mandel, Mayor	AYE/NAY	Joe Kosinski, Vice Mayor	AYE/NAY
Dan Andre	AYE/NAY	Jo List	AYE/NAY
Bob Raymond	AYE/NAY		

DULY PASSED AND ADOPTED THIS **21st** day of **JANUARY 2014**.

Town Council of the Town of Fort Myers Beach

By: _____
 Alan Mandel, Mayor

Approved as to legal sufficiency:

ATTEST:

By: _____
 Fowler White Boggs, P.A.
LPA Attorney

By: _____
 Michelle Mayher
Town Clerk

RESOLUTION OF THE LOCAL PLANNING AGENCY
THE TOWN OF FORT MYERS BEACH, FLORIDA
RESOLUTION NUMBER 2013-023
SEZ2013-0004 – Leonardo Arms Special Exception

WHEREAS, Humiston and More Engineers, authorized agent for the owner of property located at 7400 Estero Boulevard Fort Myers Beach, Florida has requested a special exception upland retaining wall seaward of the 1978 Coastal Construction Control Line in the Environmentally Critical Zoning District and

WHEREAS, the subject property is located in the Mixed Residential Future Land Use Category of the Comprehensive Plan of the Town of Fort Myers Beach and the proposed location of the upland retaining wall is located in the Recreation Future Land Use Category; and

WHEREAS, the STRAP numbers for the subject property are 03-47-24-W4-02100.00CE and the legal description is attached as *Exhibit A*; and

WHEREAS, a public hearing was held before the Local Planning Agency (LPA) on December 10, 2013; and

WHEREAS, at the hearing the LPA gave full and complete consideration of the request, recommendations by staff, the documents in the file, and the testimony of all interested persons, as required by the Fort Myers Beach Land Development Code Section 34-88;

IT IS HEREBY RESOLVED BY THE LPA OF THE TOWN OF FORT MYERS BEACH, FLORIDA, as follows:

The LPA recommends the Town Council **APPROVE** the request for a Special Exception to allow construction of a 300' +/- upland retaining wall adjacent to Building II that is seaward of the 1978 Coastal Construction Control Line in the Environmentally Critical Zoning District as generally depicted in the preliminary permit plans attached hereto and incorporated herein as *Exhibit B*.

RECOMMENDED CONDITIONS FOR APPROVAL:

1. If the building is ever demolished due to redevelopment or acts of nature, the upland retaining wall and rip rap must be removed and the property be brought into compliance.
2. For the first three years following construction of the upland retaining wall, should the wall become exposed due to avulsion from a storm event, the dune vegetation must be replanted if the beach naturally returns to its pre-storm profile within 12 months of the storm event. Re-planting shall be from the top of the wall to a maximum seaward distance of 15 feet. Natural recovery shall be considered to reach pre-storm condition, when the area between the wall, the beach profile and Mean High Water Line (MHWL) meets or exceeds that measured for pre-storm conditions.
3. For the first three years following construction of the upland retaining wall, should the wall become exposed due to avulsion from a storm event; the dune shall be restored by means of if the beach does not naturally return to its pre-storm profile within 12-months of the storm event and the dune does not recover. Dune restoration shall be from the top of the wall to a maximum seaward distance of 15 feet. Natural recovery shall be considered to reach pre-storm condition, when the area between the wall, the beach profile and Mean High Water Line (MHWL) meets or exceeds that measured for pre-storm conditions.

4. Daily monitoring is conducted during construction to ensure that wildlife, particularly sea turtles, beach nesting birds, and shorebirds are not impacted by construction activities.
5. The dune vegetation should be planted on 12" by 12" spacing and be composed of native sea oats (*Uniola paniculata*), dune sunflower (*Helianthus debilis var. vestitus*), panic grass (*Panicum amarum*), and railroad vine (*Ipomoea paniculata*).
6. The dune vegetation must achieve 80% plant survival after 6 months.

RECOMMENDED FINDINGS AND CONCLUSIONS:

In accordance with the requirements of LDC Sections 34-84 and 34-88 regarding approval of special exceptions, the LPA recommends that the Town Council make the following findings and reach the following conclusions:

1. Changed or changing conditions **do** exist that make the requested approval, as conditioned, appropriate;
2. The requested special exception, as conditioned, **is** consistent with the goals, objectives, policies, and intent of the Fort Myers Beach Comprehensive Plan;
3. The requested special exception, as conditioned, **meets or exceeds** all performance and locational standards set forth for the proposed use;
4. The requested special exception, as conditioned, **will** protect, conserve, or preserve environmentally critical areas and natural resources;
5. The requested special exception, as conditioned, **will** be compatible with existing or planned uses and **will not** cause damage, hazard, nuisance or other detriment to persons or property;
6. The requested special exception, as conditioned, **will** be in compliance with the applicable general zoning provisions and supplemental regulations pertaining to the use set forth in LDC Chapter 34.

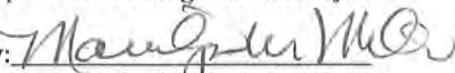
The foregoing Resolution was adopted by the LPA upon a motion by LPA Member **Shamp** and seconded by LPA Member **Plummer**, and upon being put to a vote, the result was as follows:

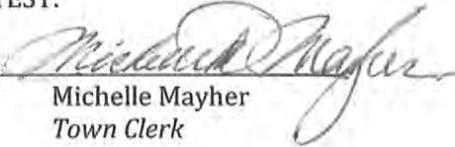
Hank Zuba, Chair	AYE	Joanne Shamp, Vice Chair	AYE
Al Durrett	Not present	John Kakatsch	AYE
Jane Plummer	AYE	Jim Steele	Abstention
Chuck Bodenhafer	AYE		

DULY PASSED AND ADOPTED THIS **10th** day of **DECEMBER, 2013**.

Local Planning Agency of the Town of Fort Myers Beach

By: 
Hank Zuba, LPA Chair

Approved as to legal sufficiency:
By: 
Fowler White Boggs, P.A.
LPA Attorney

ATTEST:
By: 
Michelle Mayher
Town Clerk

Attachment "A"- Legal Description of Leonardo Arms



Dagostino & Wood, Inc.

Exhibit 5-1

LEONARDO ARMS BEACH CLUB CONDOMINIUM UNIT II, AS PER THE RECORD PLAT THEREOF RECORDED IN CONDOMINIUM BOOK 1, PAGE 243, AS REFERENCED BY THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 603, PAGE 862 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA; SAID CONDOMINIUM BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS ON SAID RECORD PLAT:

A TRACT OR PARCEL OF LAND LYING IN GOVERNMENT LOT 3, SECTION 3, TOWNSHIP 47 SOUTH, RANGE 24 EAST, ESTERO ISLAND, LEE COUNTY, FLORIDA, WHICH TRACT OR PARCEL IS DESCRIBED AS FOLLOWS:

FROM THE MOST SOUTHERLY CORNER OF BLOCK 3A OF UNIT NO. 1 OF LAGUNA SHORES, ACCORDING TO A PLAT RECORDED IN PLAT BOOK 9, AT PAGES 29 & 30 OF THE PUBLIC RECORDS OF LEE COUNTY FLORIDA, RUN S 48°23'00" W ALONG A PROLONGATION OF THE NORTHWESTERLY LINE OF PARK PLACE (NOW PART OF BUCCANEER DRIVE) AS SHOWN ON SAID PLAT FOR 70.02 FEET TO A POINT ON THE FORMERLY SOUTHWESTERLY LINE OF ESTERO BOULEVARD AS DESCRIBED IN COUNTY COMMISSIONER'S MINUTE BOOK 11 AT PAGE 97 OF SAID PUBLIC RECORDS; THENCE RUN NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE, ALONG THE ARC OF A CURVE TO THE RIGHT OF RADIUS 2899.79 FEET FOR 147.39 FEET TO A POINT OF TANGENCY; THENCE RUN N 37°43'00" W ALONG SAID SOUTHWESTERLY LINE FOR 944.00 TO A POINT OF CURVATURE; THENCE RUN NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE, ALONG THE ARC OF A CURVE TO THE RIGHT OF RADIUS 2326.83 FEET FOR 283.68 FEET; THENCE RUN S 42°17'00" W FOR 7.46 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF STATE ROAD NO. S-865 (40' FROM CENTERLINE); THENCE RUN NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE OF SAID STATE ROAD, ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2331.83 FEET (CHORD BEARING N 28°39'47" W FOR 180.72 FEET TO A CHANGE IN RIGHT-OF-WAY; THENCE S 63°33'26" W ALONG SAID RIGHT-OF-WAY FOR 5.0 FEET; THENCE S 72°11'08" W FOR 295.26 FEET; THENCE S 52°17' W FOR 93.95 FEET TO THE POINT OF BEGINNING; THENCE N 37°43' W 55.31 FEET; THENCE N 0°49' W FOR 165.16 FEET TO AN INTERSECTION WITH A LINE PARALLEL WITH AND 30.0 FEET (AS MEASURED PERPENDICULAR) SOUTHERLY FROM THE NORTH LINE OF GOVERNMENT LOT 3; THENCE S 89°11' 00" W, ALONG SAID PARALLEL LINE, FOR 460 FEET MORE OR LESS TO THE WATERS OF THE GULF OF MEXICO; THENCE SOUTHEASTERLY ALONG SAID WATERS FOR 480 FEET MORE OR LESS TO AN INTERSECTION WITH A LINE BEARING S 52°17'00" W PASSING THROUGH THE POINT OF BEGINNING; THENCE NORTH 52°17'00" EAST ALONG SAID LINE FOR 121 FEET MORE OR LESS TO THE POINT OF BEGINNING. BEARINGS HEREINABOVE MENTIONED ARE PLANE COORDINATES FOR THE FLORIDA WEST ZONE. SUBJECT TO A DRAINAGE AND WALKWAY EASEMENT OVER THE SOUTHERLY 10 FEET OF THE NORTHERLY 35 FEET OF SAID PARCEL. INCLUDING RIGHT OF INGRESS AND EGRESS OVER AND ACROSS THE SOUTHERLY 20 FEET OF THE NORTHERLY 340 FEET OF THAT PORTION OF GOVERNMENT LOT 3 LYING WEST OF SAID STATE ROAD NO. S-865.

610 18TH Avenue NE Naples, FL 34120
Phone-(239)352-6085 Fax-(239)352-6095

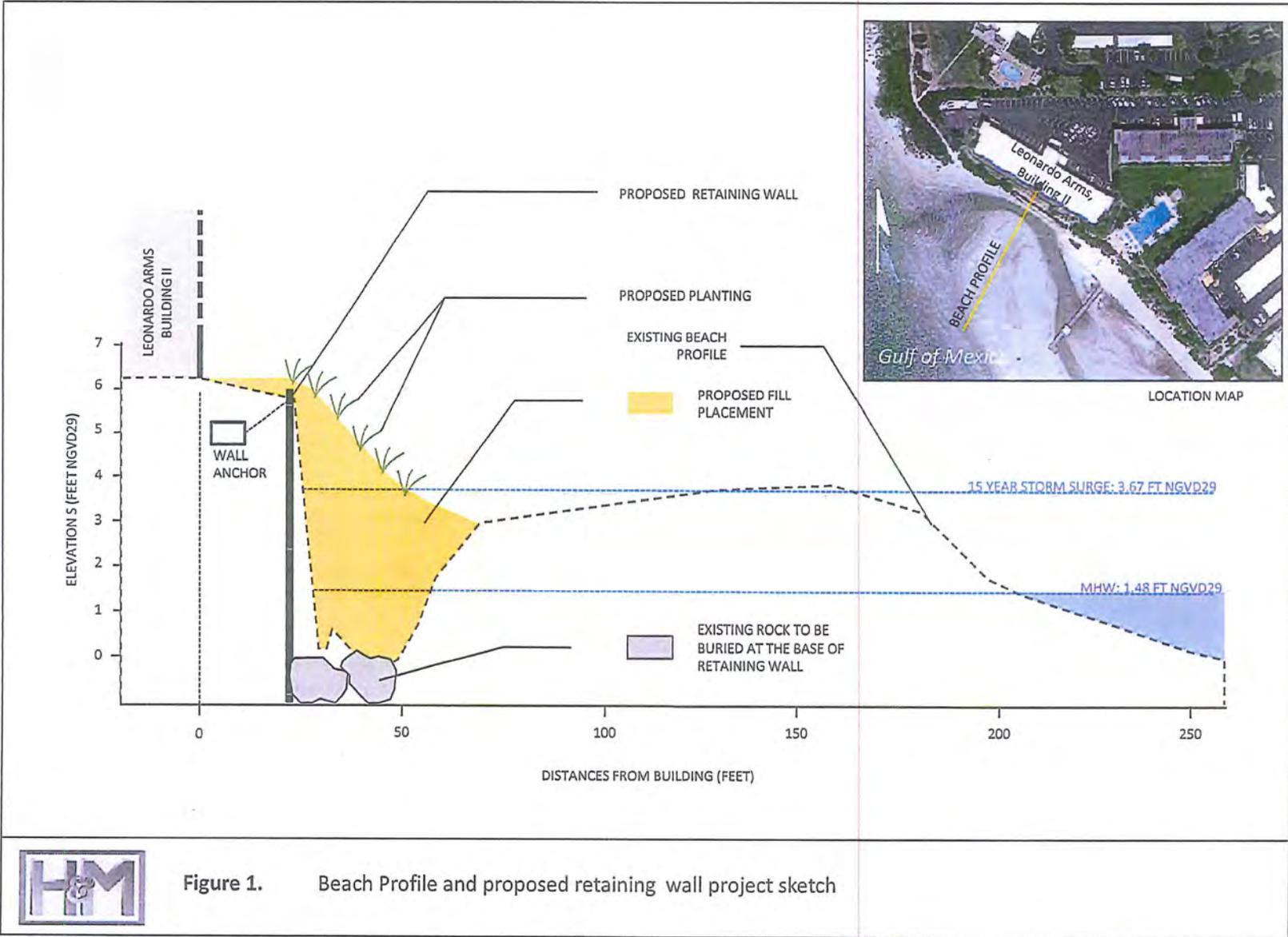


Figure 1. Beach Profile and proposed retaining wall project sketch

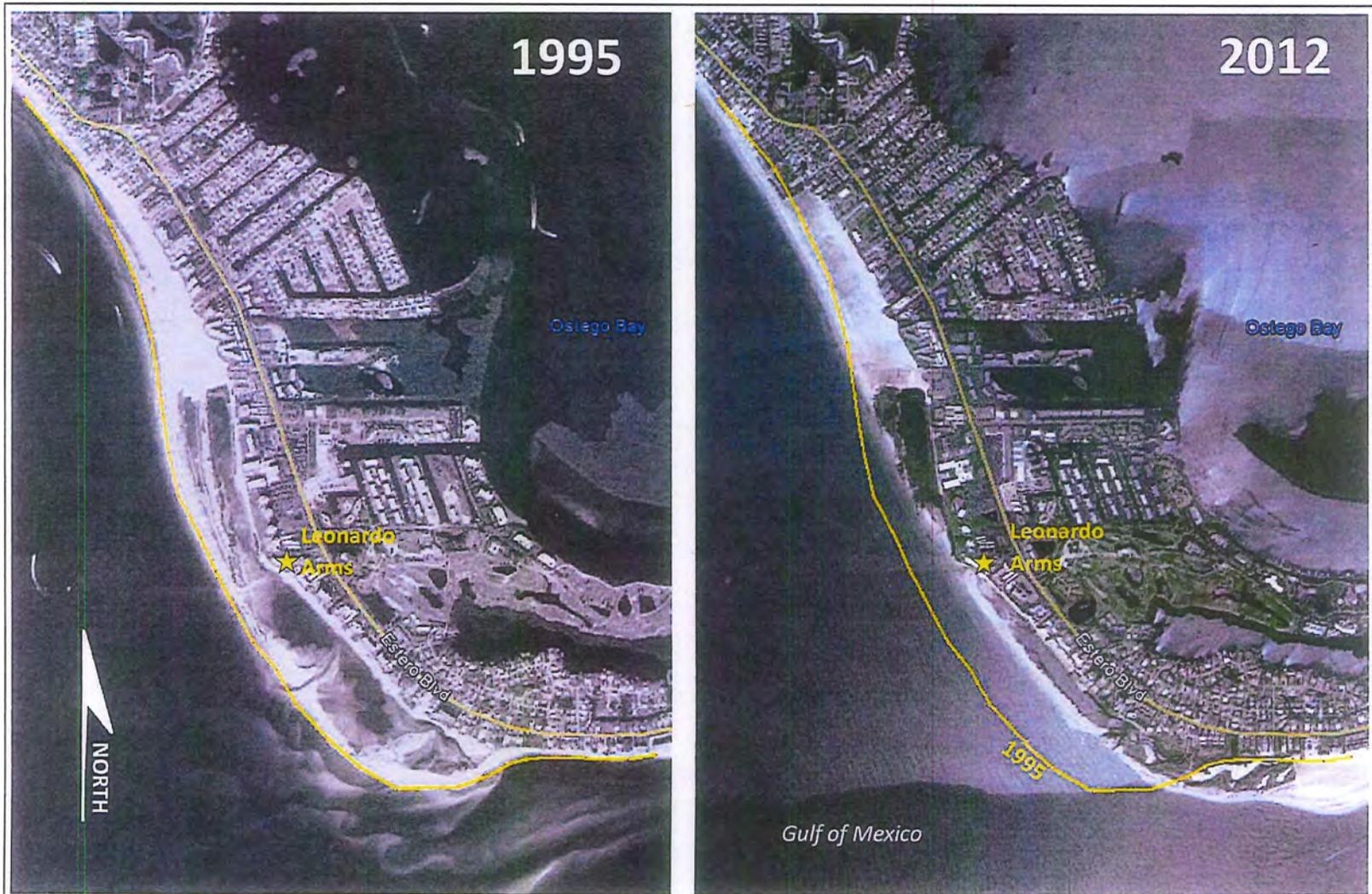


Figure 2. Fort Myers Beach , Google Aerial Photos 1995 & 2012

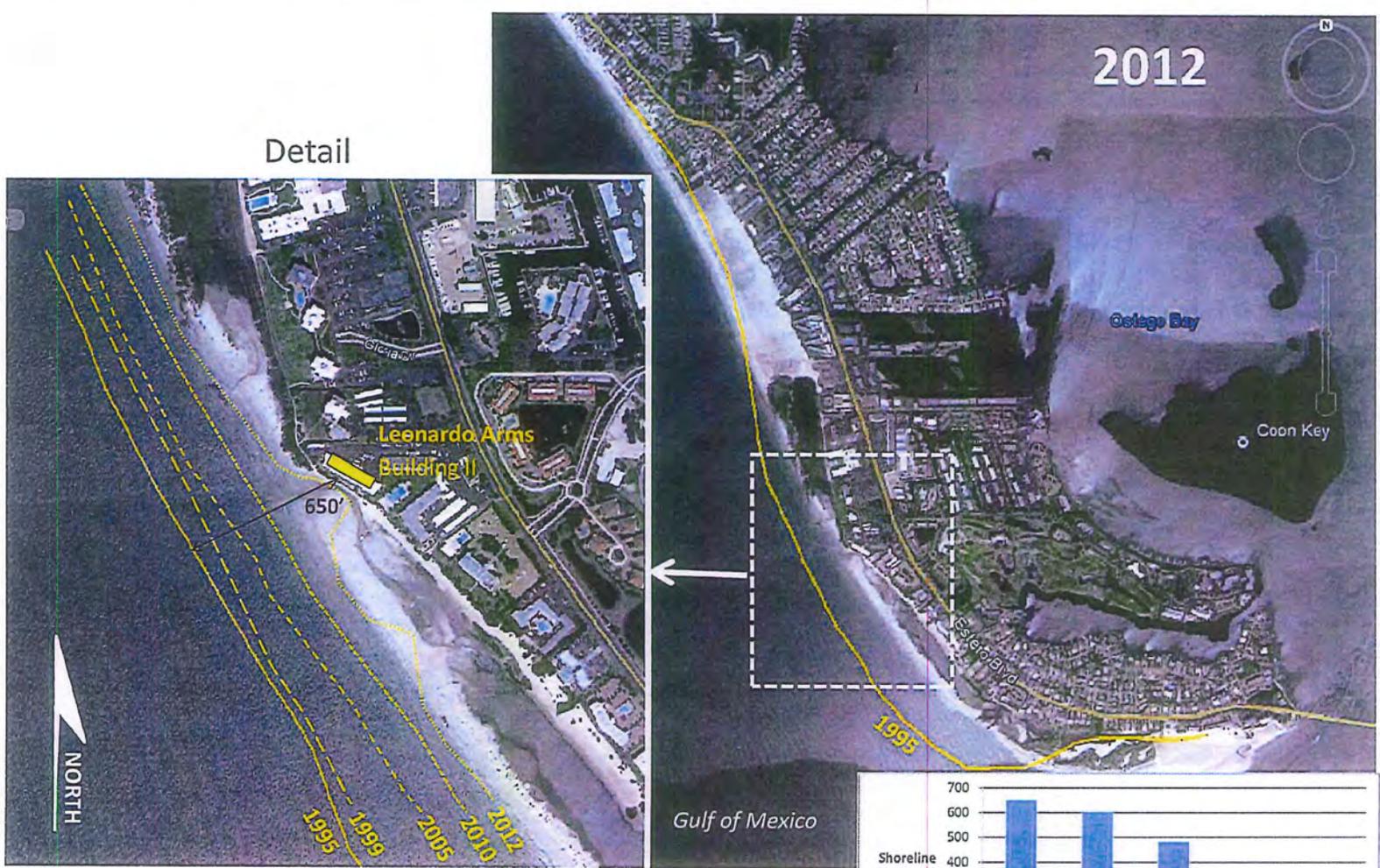


Figure 3. Shoreline Evolution at Leonardo Arms, 1995 to 2012



Figure 4. Leonardo Arms Photo During Tropical Storm Debby (06-2012)



Figure 5: Leonardo Arms Property and Adjacent Properties



**FORT MYERS BEACH
LOCAL PLANNING AGENCY (LPA)
MINUTES**

Town Hall – Council Chambers
2523 Estero Boulevard
Fort Myers Beach, Florida
Tuesday, December 10, 2013

I. CALL TO ORDER

Meeting was called to order at 9:03 a.m. by Chair Zuba; other members present:

Chuck Bodenhafer
Al Durrett – excused.
John Kakatsch
Jane Plummer
Joanne Shamp
James Steele
Hank Zuba

LPA Attorney: Marilyn Miller
Staff Present: Walter Fluegel, Community Development Director
Leslee Dulmer, Zoning Coordinator
Josh Overmyer, Planning Coordinator
Keith Laakkonen, Environmental Sciences Coordinator

II. PLEDGE OF ALLEGIANCE

III. INVOCATION

IV. MINUTES

A. Minutes of October 8, 2013

B. Minutes of November 12, 2013

Zoning Coordinator Dulmer explained that at the November meeting Vice Chair Shamp requested some clarification regarding her comments; therefore, there was a clarification made to the October 8, 2013 minutes and the request was noted in the November 12, 2013 meeting minutes.

MOTION: Ms. Shamp moved to approve the Minutes for October 8, 2013; second by Mr. Kakatsch.

VOTE: Motion approved, 6-0; Mr. Durrett was excused.

MOTION: Ms. Shamp moved to approve the Minutes for November 12, 2013; second by Mr. Steele.

VOTE: Motion approved, 6-0; Mr. Durrett was excused.

V. **PUBLIC WORKSHOP**

A. DCI2012-0002 Matanzas Inn CPD Amendment

Zoning Coordinator Dulmer reported that staff was requesting a continuance of DCI2012-0002 Matanzas Inn CPD Amendment since it was discovered in the analysis portion that additional time would be required to present all the facts for the case. She announced that staff met with the Applicant and the property owner yesterday; it was discussed and agreed by staff, the Applicant, and property owner to move the case to the January LPA Meeting; and that the Applicant was not present today but had asked staff to request the continuance.

MOTION: Mr. Bodenhafer moved to approve the requested continuance of DCI2012-0002, Matanzas Inn CPD Amendment, to the January 14, 2014 LPA meeting; second by Ms. Plummer.

VOTE: Motion approved, 6-0; Mr. Durrett was excused.

B. Leonardo Arms Upland Retaining Wall Special Exception

Chair Zuba opened the Public Hearing.

Chair Zuba asked if any LPA Board Member had ex-parte communication regarding this item. Mr. Durrett – excused; Mr. Kakatsch – site visit; Mr. Smith: - site visit; Chair Zuba – site visit; Mr. Steele – reported he owned a 50% interest in a unit at Leonardo Arms (Unit 524) and he would abstain from voting; Ms. Plummer – site visit; Ms. Shamp – site visit; Mr. Bodenhafer – site visit.

Mr. Steele completed Form 8B, Memorandum of Voting Conflict for County, Municipal, and Other Local Public Officers, and submitted the form to the Town Clerk which listed Disclosure of the Local Officer's Interest:

I, James Steele, hereby disclose that on December 10, 2013; a measure came or will come before my agency which inured to my special private gain or loss; the Leonardo Arms Upland Retaining Wall Special Exception; and I must abstain from this issue due to me owning a 50% interest in a unit at Leonardo Arms (Unit 524).

LPA Attorney Miller swore in the witnesses.

Mark Damon, Engineer with Humiston and Moore Engineers, presented comments for SEZ2013-0004, Leonardo Arms Special Exception for the Leonard Arms Beach Club Condominium, on behalf of the Applicant. He utilized a PowerPoint presentation and reviewed the following aspects of the special exception request:

- Description of the location of the subject property (aerial location map displayed)
- Shoreline evolution of the subject property beginning in 1995 and compared to aerial photographs of the subject site in 1999, 2005, 2008, 2010, 2012; presentation slides depicted the type of shoreline erosion that had occurred at the Leonardo Arms Condominium site and graphs on the shoreline profile evolution.
- Timeline of the project indicating the involvement of Humiston and Moore Engineers with the project (beginning March 2012); the channel that had existed in front of the condominium which increased the erosion level and threatened the building; and what has been done at the site to date such as but not limited to the designed and permitted sandbags as a temporary measure and action taken to address damage caused by Tropical Storm Debby. It was reported that the DEP and Town Sand Bag Permit would expire 4/4/14.
- Brief description of the proposed design for an upland retaining wall (buried by design) and the placement of fill material.
- Special exception criteria –
 - based on recent years shoreline evolution and storm induced erosion changing conditions made the request appropriate;
 - the request was consistent with goals, objectives and policies of the Fort Myers Beach Comprehensive Plan;
 - the proposed wall would be a buried retaining wall located as close as feasible to the existing building and would be located landward of the existing temporary sand bags and Critical Wildlife Area (CWA);
 - the proposed project was outside the CWA, the dune restoration and planting would help restore the natural habitat;
 - the proposed wall would be buried, the design would help reduce potential detriment to existing property, and placement of existing rocks at the two of the wall corners would help reduce effects to adjacent properties if the wall was to become exposed and to directly interact with incoming waves;
 - and upon approval of the special exception, the project would be in compliance with the applicable general zoning provisions and supplemental regulations pertaining to the use of the property.

Vice Chair Shamp noted the Report prepared by Humiston & Moore Engineers dated June 2013 (Page 2), as it pertained to information that since 1990 the Little Estero Island shoals had retreated rapidly (approximately 650 feet of shoreline has receded from the section of the beach directly in front of the subject condominium – approximately 38 feet/year); and the impact of utilizing sand for other renourishment projects (i.e. Big Carlos Pass). She discussed her views on:

- How the shoreline was a reflection of the inlets on either end;
- Problems facing Leonard Arms;
- Mismanagement of Big Carlos Pass and taking some of the sand for beach renourishment to the south;
- Contingency plans for beach renourishment to the south which talked about the County and the State paying for mitigation of negative impacts (i.e. August 2003/DEP Permit #0173059001JC and 0200803-001-JC).

She questioned if the Leonardo Arms Condominium would be paying all the costs for the wall and the sand; and have they already paid for all of the associated expenses up until now; and if so, she noted her concerns regarding the costs incurred solely on the condominium.

Mark Damon, Engineer with Humiston and Moore Engineers responded in the affirmative.

Mr. Bodenhafer asked if sand could be taken out of Big Carlos Pass and used as part of the project.

Mark Damon, Engineer with Humiston and Moore Engineers responded in the affirmative; however, he noted Leonardo Arms was not part of the County's program for beach renourishment.

Chair Zuba suggested Mr. Damon might consider contacting the County with regard to the issue.

Mark Damon, Engineer with Humiston and Moore Engineers noted that Leonardo Arms did not have public access; therefore, the condominium would not have access to public funds for renourishment.

Ms. Plummer asked if Mr. Damon had been in contact with the 'group dealing with Big Carlos Pass'.

Mark Damon, Engineer with Humiston and Moore Engineers responded in the negative; and added they were not in "direct" contact with the group.

Mr. Steele questioned the cost of the proposed project and to include the expenses already paid.

Mark Damon, Engineer with Humiston and Moore Engineers reported the wall had not been "priced out" yet since they were in the permitting process, and price would depend upon final design. He added the wall could cost from approximately \$600-1,500 per linear foot (300' wall).

Discussion ensued regarding the proposed wall that was only along Building #2; and on Building #1 to the south.

Mark Damon, Engineer with Humiston and Moore Engineers, indicated Building #2 was the most vulnerable property at the site; and when a permit was applied for with the DEP a “vulnerability analysis” must accompany the request. He stated, at this time, they [Humiston and Moore Engineers] did not feel that Building #1 was as vulnerable and Building #2.

Mr. Kakatsch questioned the proposed “curve” and asked if it would impact the neighboring property (Estero Beach and Tennis Club).

Mark Damon, Engineer with Humiston and Moore Engineers, indicated the neighboring property would not be required to install a similar wall unless there were equal conditions that caused erosion to progress so much that Estero Beach and Tennis Club also became vulnerable.

Vice Chair Shamp questioned if the two terminal groins installed at Bonita Beach Project in 1995 would have been too far south to have impacted the subject property.

Mark Damon, Engineer with Humiston and Moore Engineers, responded in the affirmative; and added the area of influence for the subject property came from Big Carlos Pass, and that their study did not include a regional study of the Pass. He added that the study focused on trying to permit the wall for Leonardo Arms and the regional changes in the area, but they did not do an in-depth study of what had gone on with the Pass.

Chair Zuba questioned the project schedule (drawings and installation) if the request was approved by the LPA and Town Council.

Mark Damon, Engineer with Humiston and Moore Engineers, indicated his firm was waiting for a Letter of Consistency from the Town that would come after approval by the Council; however, he was unaware of the timeframe for the DEP to approve the permit.

Discussion ensued regarding an estimated timeline for the project; predictability for the solution long-term; and the experience of Humiston and Moore Engineers with the permitted upland seawalls in Palm Beach County where severe erosion was experienced.

Dr. Dabeese 33:03 of Humiston and Moore Engineers, discussed elements impacting the subject property such as but not limited to the fact that the site location was on an inlet with a curvature; the natural evolution of an inlet; and the proposed wall design. He noted that the proposed project was the most recommended path forward for the Applicant.

Ms. Plummer asked if the engineers had plans to address the situation if the project was not completed by the April 4, 2014 permit deadline.

Mark Damon, Engineer with Humiston and Moore Engineers, reported currently there were no plans in place, but there could be discussions with the Town or the DEP to further extend the permit. He added

the conditions at the Leonardo Arms were not presently as critical as they were in 2012; however, his firm would make every effort to move forward and be ready to for the deadline.

Mr. Steele questioned the sustainability of the proposed wall.

Mark Damon, Engineer with Humiston and Moore Engineers, indicated the proposed wall would probably sustain up to a 50-year storm; and explained the wall would be at grade level.

Dr. Dabeese 39:44 of Engineer with Humiston and Moore Engineers, noted a '15-year wall' was a State requirement for the level of vulnerability.

Mark Damon, Engineer with Humiston and Moore Engineers, addressed the Staff Report recommendations; and noted the Applicant had two comments regarding the recommended Condition #2 and Condition #3 (he distributed his written comments to the LPA).

Environmental Sciences Coordinator Laakkonen, presented comments for SEZ2013-0004, Leonardo Arms Special Exception for the Leonard Arms Beach Club Condominium, on behalf of the Town of Fort Myers Beach. He displayed a PowerPoint presentation which included but was not limited to an aerial photograph of the site, and he noted the location of the subject property at 7400 Estero Boulevard. He reviewed the Applicant's special exception request:

- Aerial photograph indicating the Little Estero Island Critical Wildlife Area boundaries.
- Subject property 'low spot' and sandbag line.
- Special exception request for an upland retaining wall seaward of the 1978 Coastal Construction Control Line in the Environmentally Critical Zoning District.
- Zoning – Mixed Residential (upland of the 1978 CCCL) Environmentally Critical (upland retaining wall location).
- Future Land Use – Residential Multi-Family Recreation (upland retaining wall location).
- Proposed Site Plan – photographs displayed and it was noted where the boundaries of the CWA and the 1978 CCCL were located in relation to the subject property; that the subject buildings were constructed prior to the 1978 CCCL; proposed dune planting and vegetation (fill area), and the changes in angles on the wall.
- Request for a 300' long upland retaining wall; construction of a dune including 420 yards³ of beach compatible sand [same grain size and color]; and burying 10 yards³ of rip rap along the base of the wall.

He reviewed the supporting regulations according to Section 34-88 Special Exceptions:

- Function – Town Council shall hear and decide all applications for special exceptions permitted by the district regulations.
- Considerations – In reaching its decision the Town Council shall consider the following, whenever applicable:
 - Section 34-88(2)(a) – accelerated erosion and lack of sediment input have created changing conditions that make the request appropriate. Staff anticipates that the erosion in the CWA may continue. Preliminary shoreline analysis by the Town's coastal engineering consultant,

Coast and Harbor Engineering, suggest that the CWA was a nodal point and future shoreline change was likely.

- It was also possible that the shoreline has stabilized but the dynamics along the CWA and the possibility of future storm events make it impossible to forecast shoreline change accurately. In staff's opinion, an upland retaining wall was the best possible option to protect the upland building and it was an appropriate request. Slides were utilized [aerial photographs entitled "Sediment Transport near Leonardo Arms" 1995 and 2012 were provided by Humiston and Moore Engineers] and discussed to show the sediment movement in the area which showed the prevailing wave climate from the southwest, sediment transport bifurcates, shoreline response and adjustments with erosion and accretion responses, and the CWA erosion of subject property.)
- Section 34-88(2)(e) – whether the request was consistent with the goals, objectives, policies and intent of the Fort Myers Beach Comprehensive Plan.
 - Since the Applicant was proposing an upland retaining wall and has minimized potential negative impacts, the proposed project does not conflict with the Comprehensive Plan.
- Section 34-88(2)(f) – whether the request meets or exceeds all performance and locational standards set forth for the proposed use.
 - The location of the upland retaining wall was located in the EC and beyond the 1978 CCCL which necessitates a Special Exception. The Applicant has proposed to place the upland retaining wall as close to the building as possible which minimizes negative impacts to the beach and CWA.
- Section 34-88(2)(g) – whether the request will protect, conserve, or preserve environmentally critical areas and natural resources.
 - Staff's opinion was that the need for this project to protect the upland building and the measures proposed by the Applicant to reduce impact to the shoreline incorporated into the project minimizes risk to the beach system and the subject property. Placing the upland retaining wall landward of the active beach system and creating a dune, implements the best coastal management practices for the project. The dune vegetation will also support sea turtle nesting which does not currently exist in this area.
- Section 34-88(2)(h) – whether the request would be compatible with existing or planned uses and not cause damage, hazard, nuisance, or other detriment to persons or property.
 - The inability to predict future shoreline dynamics with certainty introduces a risk of potential future erosion resulting in conditions that may result in hazard to neighboring properties. When designing and analyzing projects that interact with the natural environment, consideration should be given to outcomes on either end of the spectrum. In the case of the proposed upland retaining wall, the Applicant has developed a very reasonable and logical project approach that seeks to minimize potential negative environmental impacts while protecting the upland property.

- It was also possible that future erosion could fully expose the upland retaining wall and alter long-shore currents and wave refraction which could result in erosion of neighboring properties. If the upland retaining wall would be exposed in the future, it would functionally become a seawall which would possibly have impacts on neighboring properties and the beach in front of the Leonardo Arms.
 - Section 34-88(2)(i) – whether the requested use would be compliance with applicable general zoning provisions and supplemental regulations pertaining to the use set forth in LDC Chapter 34.
 - The very nature of this request was not in compliance with general zoning provisions in LDC Chapters 26 and 34. This type of project; however, is contemplated by the LDC and Sections 26-77(b) and 34-652(e)(1) which require a special exception for “*a hardened surface along the Gulf of Mexico*” (26-77(b) and 34-652) and for “*Accessory structures to include any building, structure, or impervious surface area which is accessory to a use permitted by right or by special exception in the EC District (34-652(e)(1))*”.
 - Staff recommended finding that the requested use, as conditioned, was in compliance with applicable zoning provisions and supplemental regulations pertaining to the use and allowed by a special exception in LDC Section 34-88.

Environmental Sciences Coordinator Laakkonen offered a recommendation:

- Taking into consideration the current and existing conditions of the subject property, staff recommended approval of the construction of an upland retaining wall in the Environmentally Critical zoning district and recommended the following conditions for approval:
 1. If the building was ever demolished due to redevelopment or acts of nature, the upland retaining wall and rip rap must be removed and the property be brought to compliance.
 2. If the wall was ever exposed due to avulsion from a storm event, the dune vegetation must be replanted once the beach returns to its pre-storm profile within 12 months of the storm event.
 3. If the wall was ever exposed due to avulsion from a storm event and sand was lost from in front of the wall, the beach in front of the seawall must be restored by means and nourishment once the beach returns to its pre-storm profile if the wall does not become naturally buried again in 12 months of the storm event.
 4. Daily monitoring is conducted during construction to ensure that wildlife, particularly sea turtles, beach nesting birds, and shorebirds are not impacted by construction activities.
 5. The dune vegetation should be planted on 12” by 12” spacing and be composed of native sea oats (*Uniola paniculata*), dune sunflower (*Helianthus debilis var. vestitus*) panic grass (*Panicum amarum*), and railroad vine (*Ipomoea paniculata*).
 6. The dune vegetation must achieve 80% plant survival after 6 months.

Vice Chair Shamp noted her appreciation of staff’s analysis to “*attempt to strike a balance between conservation of the beach system and protection of private property rights*”; and her support of the request. She explained how she did not want the proposed request to be considered a “*recreational thing*” in order to expand an accessory use of the subject property and then later become a precedent for people wanting to install decks, etc. She pointed out how critical the upland retaining wall was to the

subject property. She questioned aspects of the proposed project such as but not limited to if there was some way of sharing costs for the proposed projects; a way for the Town to file with the condominium with the DEP; and was there a potential for a terminal groin for when the sand migrates so it would not go south.

Environmental Sciences Coordinator Laakkonen discussed the following:

1. His discussion with the County staff concerning what the DEP designation for critical erosion; and the possibility of contacting the State to 'make a case' on critical erosion for the CWA.
2. Comprehensive Plan section that allowed for neighborhood taxing districts for erosion control issues.
3. Currently there were processes occurring in the CWA and the Pass; the Town's commitment to alternative analysis; and how Coast and Harbor Engineering [Town's consultant] was working on a shoreline analysis which would be presented to Town Council in approximately January.

Discussion was held concerning staff's recommended Condition #1 as it pertained to why the retaining wall should be removed if the subject building was ever demolished.

Ms. Plummer asked if staff had reviewed the Applicant's comments regarding Conditions #2 and #3 and did staff agree with the Applicant.

Environmental Sciences Coordinator Laakkonen stated staff had reviewed the Applicant's response to Conditions #2 and #3 and staff accepted the changes as proposed by the Applicant.

Chair Zuba questioned consequences for the condition related to dune vegetation survival of 80%.

Environmental Sciences Coordinator Laakkonen explained if the dune vegetation survival was less than 80% the Applicant would be required to replant.

Discussion was held regarding whether there were other properties/buildings in the Town that might face a similar situation or threat; and it was determined there were no other properties/buildings in the Town at the moment.

Mr. Kakatsch recounted how years ago someone illegally removed mangroves which he believed negatively impacted the Estero Beach and Tennis Club and the adjoining property (Leonardo Arms); and questioned the importance of the mangroves.

Environmental Sciences Coordinator Laakkonen reviewed the function of the mangroves in a mid-tide area; and the impact of Hurricane Ike to the Gulf which he believed had a big impact to the sediment on the mangroves.

Public Comment opened.

Roz Toper, resident of Leonardo Arms (#610), discussed her concerns such as but not limited to:

- Many condominium residents had not arrived yet, or others had left for the holidays; and the lack of attendance by the Leonardo Arms residents, as well as residents from neighboring properties, in order to give comments on the matter.
- Today's date and the early time of the Public Hearing as it pertained to the ability/inability of senior property owners to attend due to conflicting medical appointments, etc.
- Time for neighboring property owners to research the impact of the situation to their property.

She suggested the Public Hearing should be continued or rescheduled until after the holidays.

Mark Pergoli, representing Riviera Club Condominium, echoed the prior speaker's comments and noted his concerns regarding the swiftness of the project; and suggested taking more time to review the project and possibly a "*fresh set of eyes*" look at the project. He questioned if there would a financial impact to the adjoining property owners for the proposed project.

Elizabeth Suprosky, Leonardo Arms resident (President of Building #1), reported the Leonard Arms Condominium Association would be utilizing approximately \$90,000 of their funds for the sandbags and services of Humiston and Moore. She added the condominium would appreciate financial assistance if available.

Chair Zuba asked Ms. Suprosky to offer a brief timeline on the issue.

Ms. Suprosky (President of Building #1) reported the beginning of the situation seemed to be when the first sandbags were installed in 2012. She added at one point there was water entering Building #2; however, since the sandbags were installed that had not occurred again. She explained that notices were not sent to the Leonardo Arms residents just yet because they were waiting to see what would be approved today, and then the Association would contact the residents to determine what the residents wanted to do about the building.

Environmental Sciences Coordinator Laakkonen clarified that Building #2 had the sandbag wall; that there were three different condo associations, and a master condo association. He reported the Town sent notifications, as required for special exceptions, to all property owners [within 500']. He added staff had extensive meetings with the Board Members for Building #2 starting before the sandbags were installed [January 2012]; and that he had attended a condo-wide board meeting about the issue.

Chair Zuba asked if the Board was the official Applicant.

Environmental Sciences Coordinator Laakkonen responded in the affirmative.

Ms. Plummer questioned the 'extension of the sandbags'.

Environmental Sciences Coordinator Laakkonen reported the request included the extension of the sandbags until there was either approval or denial of the request; once the request was approved or denied, the sandbag wall would have to be removed. He pointed out the sandbag wall was a 'temporary emergency measure'.

Public Comment closed.

LPA Attorney Miller read the preferred wording for approval:

“a motion to approve the request for a Special Exception to allow construction of a 300'± upland retaining wall adjacent to Building #2 that is seaward of the 1978 Coastal Construction Control Line in the EC Zoning District as generally depicted in the preliminary permit plans attached hereto and incorporated herein as Exhibit B”

MOTION: Vice Chair Shamp moved that the LPA recommend Town Council to approve the request for a Special Exception to allow construction of a 300'± upland retaining wall adjacent to Building #2 that is seaward of the 1978 Coastal Construction Control Line in the EC Zoning District as generally depicted in the preliminary permit plans attached hereto and incorporated herein as Exhibit B, with Conditions #1 through 6 as proposed with the replacement conditions [#2 and #3] proposed by the Applicant, and the Recommended Findings and Conclusions:

1. Changed or changing conditions do exist that make the requested approval, as conditioned, appropriate;
2. The requested special exception, as conditioned, is consistent with the goals, objectives, policies, and intent of the Fort Myers Beach Comprehensive Plan;
3. The requested special exception, as conditioned, meets or exceeds all performance and locational standards set forth for the proposed use;
4. The requested special exception, as conditioned, will protect, conserve, or preserve environmentally critical areas of natural resources;
5. The requested special exception, as conditioned, will be compatible with existing or planned uses and will not cause damage, hazard, nuisance or other detriment to persons or property;
6. The requested special exception, as conditioned, will be in compliance with the applicable general zoning provisions and supplemental regulations pertaining to the use set forth in LDC Chapter 34.

SECOND: Ms. Plummer.

Vice Chair Shamp pointed out that the approval was not to be viewed as a precedent for expansion of recreational or commercial ventures into the Town's Environmentally Critical Zone. She added that she supported the special exception request because it was an emergency situation to protect a building from being taken by a storm event.

Chair Zuba concurred with Vice Chair Shamp. He addressed Public Comment regarding the timeline that written testimony can be provided before the matter was scheduled before Town Council.

Community Development Director Fluegel expected the special exception request to be scheduled before Council in January 2014.

LPA Attorney Miller highlighted that the request was a zoning action; it shall require a DEP permit and the DEP will publish notice of their Intent to Issue which is a point of entry for adjoining property owners to avail themselves for comment.

VOTE: Motion approved, 5-0; Mr. Steele abstained and Mr. Durrett was excused.

Recessed at 10:26 a.m. – Reconvened at 10:35 a.m.

MOTION: Mr. Bodenhafer moved to adjourn as the LPA and reconvene as the Historic Preservation Board; second by Mr. Steele.

VOTE: Motion approved, 6-0; Mr. Durrett was excused.

**Adjourn as LPA and reconvened as Historic Preservation Board
at 10:38 a.m.**

A. Resolution #2013-002 HPB, HDD2013-0001, Mound House Certificate of Appropriateness

Chair Shamp opened the Public Hearing.

Chair Shamp asked if any HPB Board Member had ex-parte communication regarding this item. Mr. Durrett – excused; Mr. Kakatsch – none; Mr. Smith: – none; Chair Zuba – none; Mr. Steele – none; Ms. Plummer – none; Mr. Bodenhafer – none; Chair Shamp – none.

Public Works Director Lewis discussed the purpose of Resolution #2013-002 HPB, HDD2013-0001, Mound House Certificate of Appropriateness on behalf of the Town of Fort Myers Beach. She explained the request would begin the restoration of the interior of the Mound House building; and was available to answer questions concerning the matter.

Mr. Zuba questioned the background or purpose of the proposed Resolution at this time.

Public Works Director Lewis offered a brief review of the site's archaeological importance, restoration, and provision for a museum. She noted the interior restoration was the final phase of the restoration process.

HPB Attorney Miller explained the Certificate of Appropriateness was a pre-requisite for obtaining the building permit to do the interior remodeling.

Discussion ensued regarding the many facets of the Mound House property; the archaeological work completed; lead paint abatement; prior Certificate of Appropriateness approvals by the HPB

[museum/underground exhibit, landscaping, and garage conversion]; requirements of a Certificate of Appropriateness for any work done to a designated historical resource; and when a Special Certificate of Appropriateness was required (i.e. – work involving alternation, demolition, relocation, reconstruction, excavation, or new construction that would result in a change to the original appearance of a designated historical resource).

HPB Attorney Miller noted the requirements of Section 22-103 as it pertained to having a full set of plans and specifications.

Mr. Bodenhafer questioned the status of the funding for the project.

Public Works Director Lewis reviewed the funding sources such as but not limited to a grant from the State and funding from the Town.

Planning Coordinator Overmyer reported staff reviewed the history of approvals of the subject property and the Comprehensive Plan as it pertained to achieving the end result of opening the property as a museum. He noted a Town Council Resolution #96-19 as it pertained to the site's historical and archaeological significance.

Mr. Zuba questioned the long-term ownership of the subject property; and suggested that future consideration be given to the sale of the building to a non-profit organization in order, as a community, to generate investor interest and tax credits, and additional grants that do not require public staff their continued efforts to locate funds.

HPB Attorney Miller expressed her belief that TDC funds were used for certain portions of work at the site; and pointed out that the Friends of the Mound House existed which was a 501(3)(c) fund raising arm of the Mound House. She added that the Town had received considerable grant funding from the State and she did not believe the Town could divest themselves from the property.

Discussion was held concerning the nature of the site being a 'commercial venture' within a residential area and potential mitigation of impacts to the surround residential neighborhood; the operational responsibility of the Parks and Recreation Department for the Mound House site and their on-going relationship with the neighborhood and related advisory board(s); and the anticipated opening of the subject site.

Public Comment opened.

Ceel Spuhler, Mound House volunteer, noted that until the site opened, the impact to the neighborhood was relatively uncertain, but the residents had been assured that the Town was working with them to keep it to a minimum. She reported the Mound House received many favorable comments from visitors. She noted her belief that the Mound House would be long lasting and be culturally renowned.

Chair Shamp questioned the status of national recognition for the Mound House.

Ceel Spuhler reported that the State had approved going forward with applying to the Federal government for national recognition.

Public Comment closed.

MOTION: Mr. Zuba moved to approve Resolution #2013-002 HPB, Mound House Certificate of Appropriateness, and approve the request for Special Certificate of Appropriateness and the Findings and Conclusions:

1. Town Council Resolution 96-17 contains specific guidelines related to any part of Applicant's request herein.
2. The findings and conclusions set forth below are inclusive of the criteria for issuance of a special certificate of appropriateness as referenced in LDC Section 22-101(b), including the Secretary of the Interior's Standards for Rehabilitation.
3. The property is being used for its historic purpose or being placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
4. The historic character of the subject property is being retained and preserved. The removal of historic materials or alternation of features and spaces that characterize a property is being avoided.
5. The subject property is being recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings are not being undertaken.
6. Most properties change over time; those changes that have acquired historic significance in their own right are being retained and preserved.
7. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property are being preserved.
8. Deteriorated historic features are being repaired rather than replaced. When the severity of deterioration requires replacement of a distinctive feature, the new feature do match the old in design, color, texture, or visual qualities and, where possible, materials. Replacement of missing features are being substantiated by documentary, physical, or pictorial evidence.
9. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials, are not being used. The surface cleaning of structures, if appropriate is being undertaken using the gentlest means possible.
10. Significant archaeological resources affected by a project are being protected and preserved. If such resources must be distributed, mitigation measures shall be undertaken.
11. New additions, exterior alterations, or related new construction under this application are not destroying historic materials that characterize the property. This new work is not being differentiated from the old and compatible with

the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

12. New additions and adjacent or related new construction is being undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Second: Ms. Plummer.

VOTE: Motion approved, 6-0; Mr. Durrett was excused.

Public Hearing closed at 11:01 a.m.

Discussion was held concerning the historical designation discussion continued to January 14, 2014.

MOTION: Ms. Kakatsch moved to adjourn as Historic Preservation Board and reconvene as the LPA; second by Mr. Zuba.

VOTE: Motion approved, 6-0; Mr. Durrett was excused.

Adjourn as Historic Preservation Board and reconvene as the LPA at 11:03 a.m.

VI. LPA MEMBER ITEMS AND REPORTS

Ms. Plummer – no items or report.

Mr. Steele - no items or report.

Mr. Bodenhafer – recounted his pleasurable experience visiting the Mound House.

Mr. Kakatsch – discussed his recent experience with placing telephone calls to either Town department heads or secondary staff; and his suggestion regarding the handling of telephone calls.

MOTION: Ms. Kakatsch moved to suggest a meeting be scheduled for next week with senior management regarding the handling telephone calls; second by Mr. Bodenhafer.

Community Development Director Fluegel noted the increase in the permitting environment for Town staff (i.e. building permits, maintenance-related permits, and new construction). He reported during the past three weeks staff had been inundated with informational requests on the elevated pool issue; and his time had been consumed with the elevated pool issue. He cautioned that the elevated pool issue would be a very complex matter with other issues involved (i.e. view corridors, landscaping, sheds, garages, etc.).

Discussion was held concerning Mr. Kakatsch's request for a meeting with senior management; whether DCD was functioning efficiently at this time; staffing capacity at Town Hall; the unusual volume of permitting requests and difficult upcoming issues for staff (i.e. elevated pools); and potential topic(s) for the meeting with senior management.

Chair Zuba suggested Director Fluegel schedule a meeting with himself and Mr. Kakatsch, and the Town Manager to address Mr. Kakatsch's concerns.

Discussion continued regarding communication within the Town (i.e. both staff and Council).

Community Development Director Fluegel explained the information requests regarding elevated pools have been from the public and not developers.

Discussion ensued regarding hours of operation for staff.

VOTE: Motion approved, 5-1; Chair Zuba dissenting; and Mr. Durrett was excused.

LPA Attorney Miller noted the meeting would require advertisement and be held as a public meeting. She noted her observation on the responsiveness of Town staff to public inquiries and telephone calls.

Community Development Director Fluegel pointed out that the timely responsiveness to the public on the issue of elevated pools had been a top priority of staff.

Chair Zuba requested an update on the discussion about flood insurance and possible incentives for redevelopment in compliance with current standards.

Vice Chair Shamp – requested a discussion on the list of guideline/parameters for the meeting discussion.

Planning Coordinator Overmyer requested that the LPA provide a list of guidelines/parameters for the meeting discussion.

LPA Attorney Miller mentioned the FEMA Base Flood Elevations and the disincentive they provide for commercial redevelopment.

Discussion ensued regarding potential items to discuss at the meeting; pre-disaster build-back and post-disaster recovery; and consensus approved discussed pre-disaster first.

LPA Attorney Miller stated they may bring the topic of transfer of development rights to the LPA as well.

Mr. Durrett – excused.

Chair Zuba – no items or report.

VII. LPA ATTORNEY ITEMS

LPA Attorney Miller – no items or report.

VIII. COMMUNITY DEVELOPMENT DIRECTOR ITEMS

Community Development Director Fluegel – no items or report.

IX. LPA ACTION ITEM LIST REVIEW

No discussion.

X. ITEMS FOR NEXT MONTH'S AGENDA

No discussion.

XI. PUBLIC COMMENT

None.

XII. ADJOURNMENT

MOTION: Motion by Mr. Steele, seconded by Mr. Bodenhafer to adjourn.

VOTE: Motion approved, 6-0; Mr. Durrett was excused.

Meeting adjourned at 11:30 a.m.

Adopted _____ With/Without changes. Motion by _____

Vote: _____

Signature

End of document.



Town of Fort Myers Beach
**COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT**

TYPE OF CASE: Special Exception
CASE NUMBER: SEZ2013-0004
LPA HEARING DATE: December 10, 2013
LPA HEARING TIME: 9AM

I. APPLICATION SUMMARY

Applicant: Humiston and Moore Engineers

Request: A Special Exception for an upland retaining wall seaward of the 1978 Coastal Construction Control Line in the Environmentally Critical Zoning District

Subject property: LEONARDO ARMS BEACH CLUB CONDOMINIUM
UNIT II- See Attachment A

Physical Address: 7400 ESTERO BLVD, FORT MYERS BEACH, FL 33931

STRAP #: 03-47-24-W4-02100.00CE

FLU: Mixed Residential (upland of the 1978 CCCL)
Recreation (upland retaining wall location)

Zoning: Residential Multifamily (upland of the 1978 CCCL)
Environmentally Critical (upland retaining wall location)

Current use(s): Condominium

Adjacent zoning and land uses:

North: RESIDENTIAL MULTIFAMILY
Mixed Residential
Bermuda Dune Condo Association

South:	RESIDENTIAL MULTIFAMILY Mixed Residential Leonardo Arms Beach Club Unit 1
East:	RESIDENTIAL MULTIFAMILY Mixed Residential Leonardo Arms Beach Club Unit 3
West:	RECREATION Environmentally Critical Little Estero Island Critical Wildlife Area

II. BACKGROUND AND ANALYSIS

Background:

The applicant is applying for a Special Exception for an upland retaining wall seaward of the 1978 Coastal Construction Control Line in the Environmentally Critical Zoning District. The applicant is also proposing construction of a dune feature. The purpose of the upland retaining wall is to protect the upland property from erosion.

Land Development Code (LDC) Sections 26-77 (b) and 34-652 (e)(1) requires a special exception for “a hardened surface along the Gulf of Mexico” (26-77 (b)34-652) and for “Accessory structures, to include any building, structure, or impervious surface area which is accessory to a use permitted by right or by special exception in the EC district” (34-652 (e)(1)).

Leonardo Arms is a condominium property located at 7400 Estero Blvd Fort Myers Beach. Seaward of the subject property line is the Little Estero Island Critical Wildlife Area. Leonardo Arms Unit II has a total land area of <1.8 acres and 250’ of frontage along the Gulf of Mexico (See Attachment B- Figure 5).

The beach area in front of Leonardo Arms is a very dynamic beach lagoon feature. Isolated from the influences of major passes and inlets (Big Carlos Pass is over 1.25 miles to the south), this area is subject to longshore currents and storm events, which can generate large breaking waves. Since there is no active costal management in this area such as beach nourishment or dredging, inputs from sediments is limited to onshore movement from offshore sandbars. The history of the beach area and specifically the attachment of a sandbar, which resulted in the formation of the lagoon, can be traced back to large waves and storm surge associated with Hurricane Donna in 1960. Hurricane Donna pushed a large amount of sand into the nearshore system. This sand was eventually pushed towards the shore by longshore current, tidal forces, and the typical wave climate at the south end of the island, which is out of the west/southwest. The lagoon system likely reached its peak

width around 1995 when the CWA was established by the State of Florida. Without another large storm event similar to Hurricane Donna, there continues to be a lack of sediments being introduced into the nearshore area. While Hurricane Charley notably affected Fort Myers Beach in 2004, this storm did not generate sufficient wave conditions and surge to move additional sediments into the nearshore due to Charley's fast movement and small size. This lack of sediments moving onshore combined with longshore currents and typical wave climate (out of the west/southwest) has resulted in erosion and rollback of the shoreline all along the beach area in front of Leonardo Arms and well as the entire length of the CWA. A large contributing factor of the erosion in the area is due to the subject property location at a nodal point (or change point) where the longshore current can reverse directions. The typical net sediment transport in this area however is to the south despite short term reversals. This is evident by erosion further south in the CWA and a large area of accretion at the southern end of the island, Carlos Point. Carlos Point has accreted over 700' of sand since 2001 while the shoreline in front of Leonardo Arms has retreated more than 400' in the same timeframe. Since 1995, the shoreline has receded at least 650' (See Figures 2-7). However, these short-term reversals in sediment flow have rapidly shifted the shoreline and the inlets to the lagoon, causing them to migrate rapidly.

Beginning in January 2012, Environmental Sciences Staff observed the southern lagoon inlet was rapidly migrating to the north. Staff then contacted Leonardo Arms to suggest that they contact a coastal engineer to advise them of their options. By March 2012, the inlet had migrated to the Leonardo Arms property line and began to erode the upland area and posed an imminent threat to the building. Leonardo Arms retained Humiston & Moore Engineers and met with Town Staff to develop a plan to protect the building that would not have negative impacts to the CWA. Humiston & Moore proposed a temporary emergency sandbag wall, which the Town accepted, and Town Council issued a Local Declaration of Shoreline Emergency to facilitate the permitting process with DEP. The DEP issued an emergency permit for a temporary sandbag wall. After installation of the sandbag wall, the inlet continued to migrate towards Leonardo Arms and eroded the shoreline further. The inlet reached the sandbag wall, which halted further erosion and effectively protected the building.

In June 2012, Tropical Storm Debby generated three days of three-foot storm surges and waves of over three feet, which affected all of Fort Myers Beach. Following Tropical Storm Debby, the inlet that had caused the erosion, migrated approximately 1,200' to the south. Additional sand also moved onshore towards Leonardo Arms resulting in temporary accretion. However, the entire area has continued to erode and an additional 100' of shoreline has been lost.

Town Staff advised Leonardo Arms that the sandbag wall would not be considered a permanent solution since its location in the active portion of the beach would cause increased erosion and advised the condo board to begin the permitting process for an upland retaining wall, which would require a Special Exception. The active portion of the

beach is the area of the beach that is subject to wave action and sand movement. The seaward portion of the dunes (the frontal dune) is considered to be part of the active beach since it may accrete and erode over the course of the year due to storm events. Meanwhile, Staff worked with the Leonardo Arms Condo Association, Humiston & Moore Engineers, and the Department of Environmental Protection Coastal Construction Control Line Program to develop a solution to protect the property that would not violate the Land Development Code and not require a special exception or variance. After multiple delays and requests for indefinite extension, Town Staff communicated to Leonardo Arms that their options would be to remove the sandbags or propose a permanent solution. Humiston & Moore Engineers are proposing installation of an upland retaining wall to protect the building from erosion. The upland retaining wall will be supplemented by dune vegetation. Currently the temporary sandbag wall protects the property but if this Special Exception is approved, the sandbag wall will be required to be removed once the wall is constructed.

Analysis:

This proposed project attempts to strike a balance between conservation of the beach system and protection of private property. Leonardo Arms was constructed in the 1970's before the 1978 DEP Coastal Construction Control Setback Line was established. The location of Building 2 is the most seaward of all the buildings at Leonardo Arms which also places it at the highest vulnerability to impacts from erosion and storm generated waves. The proposed location of the upland retaining wall is as far landward possible to minimize potential negative impacts to the beach system. The beach in front of the subject property is the Little Estero Island Critical Wildlife Area (CWA). The CWA was established in 1995 by the Florida Fish and Wildlife Conservation Commission under Florida Administrative Code 68A-19.005. The CWA is also a Coastal barrier Resources Act Area (Unit P17) and is designated by the US Fish & Wildlife Service as Critical Wintering Habitat for the federally endangered piping plover (Unit FL-26). The CWA is perhaps the most dynamic portion of the Fort Myers Beach shoreline and it has experienced large changes in shoreline since the 1960's. The dynamic nature of this shoreline and the protections that CWA designation include make it very important to nesting seas turtles, migrating and nesting shorebirds and seabirds, as well as the ecological functions of a natural shoreline.

Critical to the determination of whether this request is consistent with the Comprehensive Plan is an understanding of seawalls and upland retaining walls. A seawall is a vertical bulkhead constructed seaward of the mean high-water line or seaward of the upper reaches of wetland vegetation whereas an upland retaining wall is means a vertical bulkhead constructed landward of the mean high-water line and landward of wetland vegetation to protect the shoreline from erosion. Please see the definitions of both in **LDC Section 26-43** for visual representations of both. The Town of Fort Myers Beach Comprehensive Plan **Policy 5-D-1** states the Town's policies on shoreline protection measures. Specifically, the proposed upland retaining wall is addressed by these policies:

- i. Beach nourishment. Beach nourishment projects have never been envisioned for this area of the island and public funding for such a project would be highly unlikely due to lack of designated public access points. Private funding for a beach nourishment project however is possible. Additionally, piping plover critical habitat protections would make permitting very difficult.
- ii. Sand dunes. The applicant is proposing dune plantings and a sand dune to reduce erosion and stabilize the shoreline.
- iv. Building and structures located as far back as possible. The proposed upland retaining wall has been located as far back as possible.
- vi.
 - (1) Building relocation. completely unfeasible due to the size and age of the Leonardo Arms building.
 - (2) Emergency renourishment. Feasible and permissible however, this would be ineffective due to potential ongoing erosion.
 - (3) Rip rap. This would interfere with sea turtle nesting and may not withstand erosion.

Upland retaining walls have the potential to cause erosion and interfere with nesting sea turtles if they become exposed by loss of sand due to erosion. This upland retaining wall is proposed to be buried below the surface of the sand to minimize impacts to the beach system. However, once the sand is lost seaward of an upland retaining wall, it would functionally become a seawall. Seawalls cause erosion and scour along the base of seawall and to neighboring properties by refraction of wave energy. Natural beaches dissipate wave energy by allowing the wave to break over a distance. A breaking wave on a beach carries sediment onto the beach. As the wave breaks, it expends its energy on the beach and slows down enough to allow the sediment to be deposited on the beach. A seawall does not dissipate wave energy and instead reflects and refracts the wave without reducing any energy. Once the waves are refracted, sediment at the foot of the wall is typically eroded into deeper water or laterally. At either end of a seawall, if neighboring properties are not protected by seawalls then erosion will typically occur as the wave energy is refracted laterally without being dissipated. For a full discussion of the effects please see *Coastal Armoring: Effects, Principles, and Mitigation*. Robert G. Dean, 1986 (<http://journals.tdl.org/icce/index.php/icce/article/view/4136/3817>)

A hardened structure, other than the terminal groin associated with the beach nourishment project, has not been proposed on Fort Myers Beach since Town incorporation to Staff's knowledge. It is important to note that if this Special Exception is approved it will create a precedent for a hardened structure along the Gulf of Mexico. However, an upland building, particularly one zoned residential has never been directed threatened by erosion since incorporation.

The dune vegetation proposed with the upland retaining wall (see Attachment C) will create a living shoreline that is more resilient to storm events than an unvegetated beach. This

vegetation, once it becomes a mature dune, will be composed by vegetation with deep roots and high sand trapping abilities which will minimize impacts to the shoreline. The dune will also support sea turtle nesting. The upland retaining wall also incorporates design features which will reduce negative impacts to the shoreline should the wall become exposed. These features include as a change in angles and buried rip rap at the base of the wall. These design features will reduce wave refraction, especially laterally (See Attachment B- Figure 5). The rip rap will also dissipate wave energy. It is Staff's opinion that, the need for this project to protect the upland building and the measures proposed by the applicant to reduce impact to the shoreline incorporated into the project minimizes risk to the beach system and the subject property. Placing the upland retaining wall landward of the active beach system and creating a dune, implements the best coastal management practices for this project.

Findings and Conclusions:

Based upon an analysis of the application and the standards for approval of a special exception found in Section 34-88 of the LDC, Staff reaches the following findings and conclusions:

- a) *Whether there exist changed or changing conditions [that] make approval of the request appropriate.*

Accelerated erosion and lack of sediment input have created changing conditions that make the request appropriate. Staff anticipates that the erosion in the CWA may continue. Preliminary shoreline analysis by the Town's coastal engineering consultant, Coast and Harbor Engineering suggest that the CWA is a nodal point and future shoreline change is likely. It is also possible that the shoreline has stabilized but the dynamics along the CWA and the possibility of future storm events make it impossible to forecast shoreline change accurately. In Staff's opinion, an upland retaining wall is the best possible option to protect the upland building and it is an appropriate request.

- e) *Whether the request is consistent with the goals, objectives, policies, and intent of the Fort Myers Beach Comprehensive Plan.*

Since the applicant is proposing an upland retaining wall and has minimized potential negative impacts, the proposed project does not conflict with the Comprehensive Plan.

- f) *Whether the request meets or exceeds all performance and locational standards set forth for the proposed use.*

The location of the upland retaining wall is located in the EC and beyond the 1978 CCCL which necessitates a Special Exception. The applicant has proposed

to place the upland retaining wall as close to the building as possible which minimizes negative impacts to the beach and CWA.

- g) Whether the request will protect, conserve, or preserve environmentally critical areas and natural resources.*

It is Staff's opinion that, the need for this project to protect the upland building and the measures proposed by the applicant to reduce impact to the shoreline incorporated into the project minimizes risk to the beach system and the subject property. Placing the upland retaining wall landward of the active beach system and creating a dune, implements the best coastal management practices for this project. The dune vegetation will also support sea turtle nesting which does not currently exist in this area.

- h) Whether the request will be compatible with existing or planned uses and not cause damage, hazard, nuisance, or other detriment to persons or property.*

The inability to predict future shoreline dynamics with certainty introduces a risk of potential future erosion resulting in conditions that may result in a hazard to neighboring properties. When designing and analyzing projects that interact with the natural environment, consideration should be given to outcomes on either end of the spectrum. In the case of the proposed upland retaining wall, the applicant has developed a very reasonable and logical project approach that seeks to minimize potential negative environmental impacts while protecting the upland property. It is also possible that future erosion could fully expose the upland retaining wall and alter longshore currents and wave refraction which could result in erosion of neighboring properties. If the upland retaining wall would be exposed in the future, it would functionally become a seawall which would possibly have impacts on neighboring properties and the beach in front of Leonardo Arms.

- i) Whether the requested use will be in compliance with applicable general zoning provisions and supplemental regulations pertaining to the use set forth in LDC Chapter 34.*

The very nature of this request is not in compliance with general zoning provisions in LDC Chapter's 26 and 34. This type of project however, is contemplated by the LDC and Sections 26-77 (b) and 34-652 (e)(1) requires a special exception for "a hardened surface along the Gulf of Mexico" (26-77 (b)34-652) and for "Accessory structures, to include any building, structure, or impervious surface area which is accessory to a use permitted by right or by special exception in the EC district" (34-652 (e)(1)). Staff recommends finding

that the requested use, as conditioned, is in compliance with applicable zoning provisions and supplemental regulations pertaining to the use and allowed by a special exception in LDC Sec. 34-88.

III. RECOMMENDATION

Taking into consideration the current and existing conditions of the subject property, Staff recommends **APPROVAL** of construction of an upland retaining wall in the ENVIRONMENTALLY CRITICAL zoning district.

If the Town Council chooses to approve the requested special exception, Staff recommends that approval be subject to the following conditions:

1. If the building is ever demolished due to redevelopment or acts of nature, the upland retaining wall and rip rap must be removed and the property be brought into compliance.
2. If the wall is ever exposed due to avulsion from a storm event, the dune vegetation must be replanted once the beach returns to its pre-storm profile within 12 months of the storm event.
3. If the wall is ever exposed due to avulsion from a storm event, and sand is lost from in front of the wall the beach in front of the seawall must be restored by means or nourishment once the beach returns to its pre-storm profile if the wall does not become naturally buried again in 12 months of the storm event.
4. Daily monitoring is conducted during construction to ensure that wildlife, particularly sea turtles, beach nesting birds, and shorebirds are not impacted by construction activities.
5. The dune vegetation should be planted on 12" by 12" spacing and be composed of native sea oats (*Uniola paniculata*), dune sunflower (*Helianthus debilis var. vestitus*), panic grass (*Panicum amarum*), and railroad vine (*Ipomoea paniculata*).
6. The dune vegetation must achieve 80% plant survival after 6 months.

IV. CONCLUSION

If Town Council finds that the requested use is contrary to the public interest or the health, safety, comfort, convenience, and/or welfare of the citizens of the Town, or that the request is in conflict with the criteria of LDC Section 34-88, Town Council should deny the request as provided in LDC Section 34-88(4). If Town Council chooses to approve the request, special conditions necessary to protect the health, safety, comfort, convenience, or welfare of the public may be attached if Council finds that such conditions are reasonably related to the requested special exception. Staff has recommended conditions for the Town Council's convenience.

Staff recommends **APPROVAL** of the requested special exception, as conditioned.



Dagostino & Wood, Inc.

Exhibit 5-1

LEONARDO ARMS BEACH CLUB CONDOMINIUM UNIT II, AS PER THE RECORD PLAT THEREOF RECORDED IN CONDOMINIUM BOOK 1, PAGE 243, AS REFERENCED BY THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 603, PAGE 862 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA; SAID CONDOMINIUM BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS ON SAID RECORD PLAT:

A TRACT OR PARCEL OF LAND LYING IN GOVERNMENT LOT 3, SECTION 3, TOWNSHIP 47 SOUTH, RANGE 24 EAST, ESTERO ISLAND, LEE COUNTY, FLORIDA, WHICH TRACT OR PARCEL IS DESCRIBED AS FOLLOWS:

FROM THE MOST SOUTHERLY CORNER OF BLOCK 3A OF UNIT NO. 1 OF LAGUNA SHORES, ACCORDING TO A PLAT RECORDED IN PLAT BOOK 9, AT PAGES 29 & 30 OF THE PUBLIC RECORDS OF LEE COUNTY FLORIDA, RUN S 48°23'00" W ALONG A PROLONGATION OF THE NORTHWESTERLY LINE OF PARK PLACE (NOW PART OF BUCCANEER DRIVE) AS SHOWN ON SAID PLAT FOR 70.02 FEET TO A POINT ON THE FORMERLY SOUTHWESTERLY LINE OF ESTERO BOULEVARD AS DESCRIBED IN COUNTY COMMISSIONER'S MINUTE BOOK 11 AT PAGE 97 OF SAID PUBLIC RECORDS; THENCE RUN NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE, ALONG THE ARC OF A CURVE TO THE RIGHT OF RADIUS 2899.79 FEET FOR 147.39 FEET TO A POINT OF TANGENCY; THENCE RUN N 37°43'00" W ALONG SAID SOUTHWESTERLY LINE FOR 944.00 TO A POINT OF CURVATURE; THENCE RUN NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE, ALONG THE ARC OF A CURVE TO THE RIGHT OF RADIUS 2326.83 FEET FOR 283.68 FEET; THENCE RUN S 42°17'00" W FOR 7.46 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF STATE ROAD NO. S-865 (40' FROM CENTERLINE); THENCE RUN NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE OF SAID STATE ROAD, ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2331.83 FEET (CHORD BEARING N 28°39'47" W FOR 180.72 FEET TO A CHANGE IN RIGHT-OF-WAY; THENCE S 63°33'26" W ALONG SAID RIGHT-OF-WAY FOR 5.0 FEET; THENCE S 72°11'08" W FOR 295.26 FEET; THENCE S 52°17' W FOR 93.95 FEET TO THE POINT OF BEGINNING; THENCE N 37°43' W 55.31 FEET; THENCE N 0°49' W FOR 165.16 FEET TO AN INTERSECTION WITH A LINE PARALLEL WITH AND 30.0 FEET (AS MEASURED PERPENDICULAR) SOUTHERLY FROM THE NORTH LINE OF GOVERNMENT LOT 3; THENCE S 89°11' 00" W, ALONG SAID PARALLEL LINE, FOR 460 FEET MORE OR LESS TO THE WATERS OF THE GULF OF MEXICO; THENCE SOUTHWESTERLY ALONG SAID WATERS FOR 480 FEET MORE OR LESS TO AN INTERSECTION WITH A LINE BEARING S 52°17'00" W PASSING THROUGH THE POINT OF BEGINNING; THENCE NORTH 52°17'00" EAST ALONG SAID LINE FOR 121 FEET MORE OR LESS TO THE POINT OF BEGINNING. BEARINGS HEREINAbove MENTIONED ARE PLANE COORDINATES FOR THE FLORIDA WEST ZONE, SUBJECT TO A DRAINAGE AND WALKWAY EASEMENT OVER THE SOUTHERLY 10 FEET OF THE NORTHERLY 35 FEET OF SAID PARCEL, INCLUDING RIGHT OF INGRESS AND EGRESS OVER AND ACROSS THE SOUTHERLY 20 FEET OF THE NORTHERLY 340 FEET OF THAT PORTION OF GOVERNMENT LOT 3 LYING WEST OF SAID STATE ROAD NO. S-865.

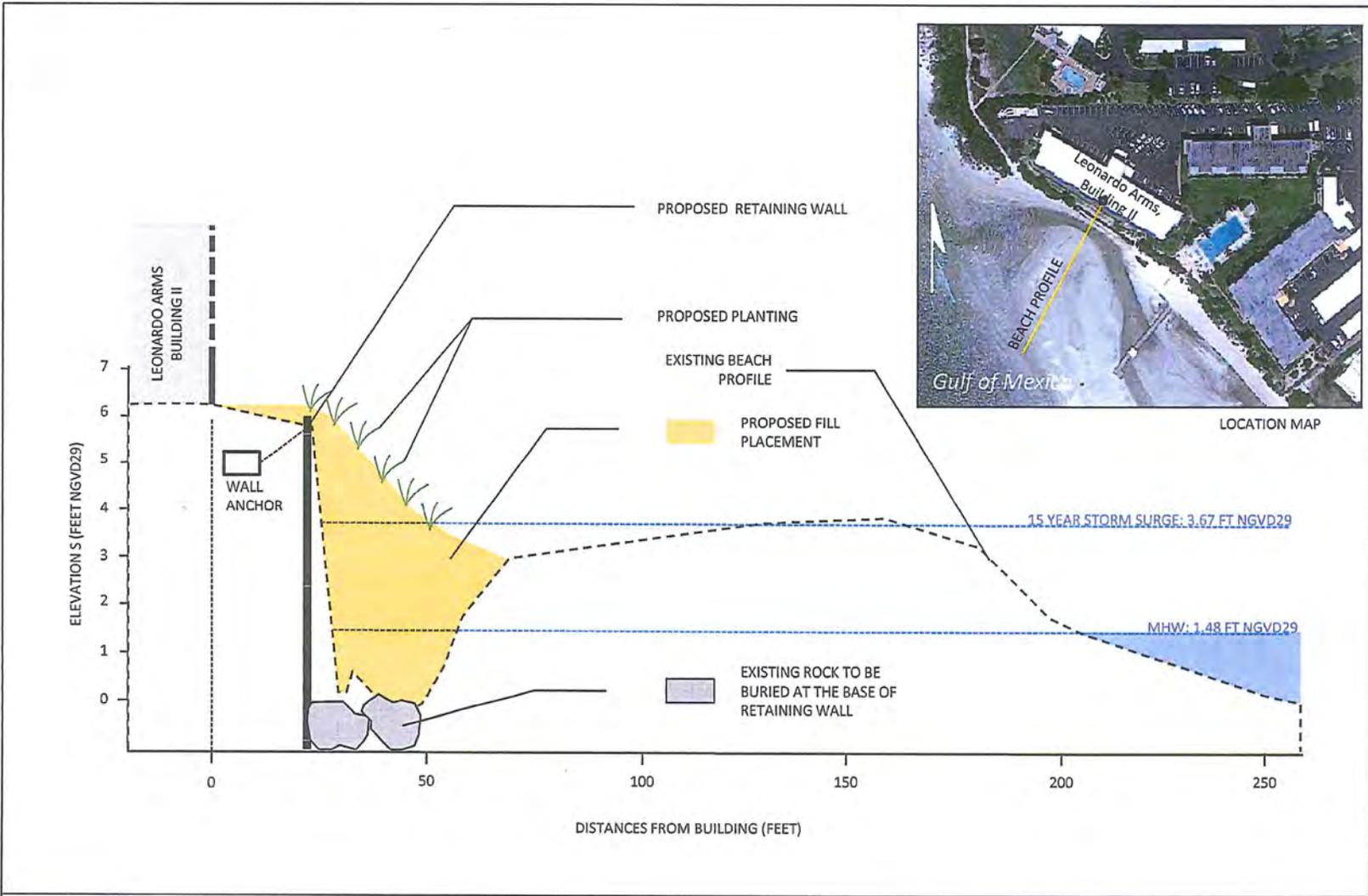


Figure 1. Beach Profile and proposed retaining wall project sketch



Figure 2. Fort Myers Beach , Google Aerial Photos 1995 & 2012

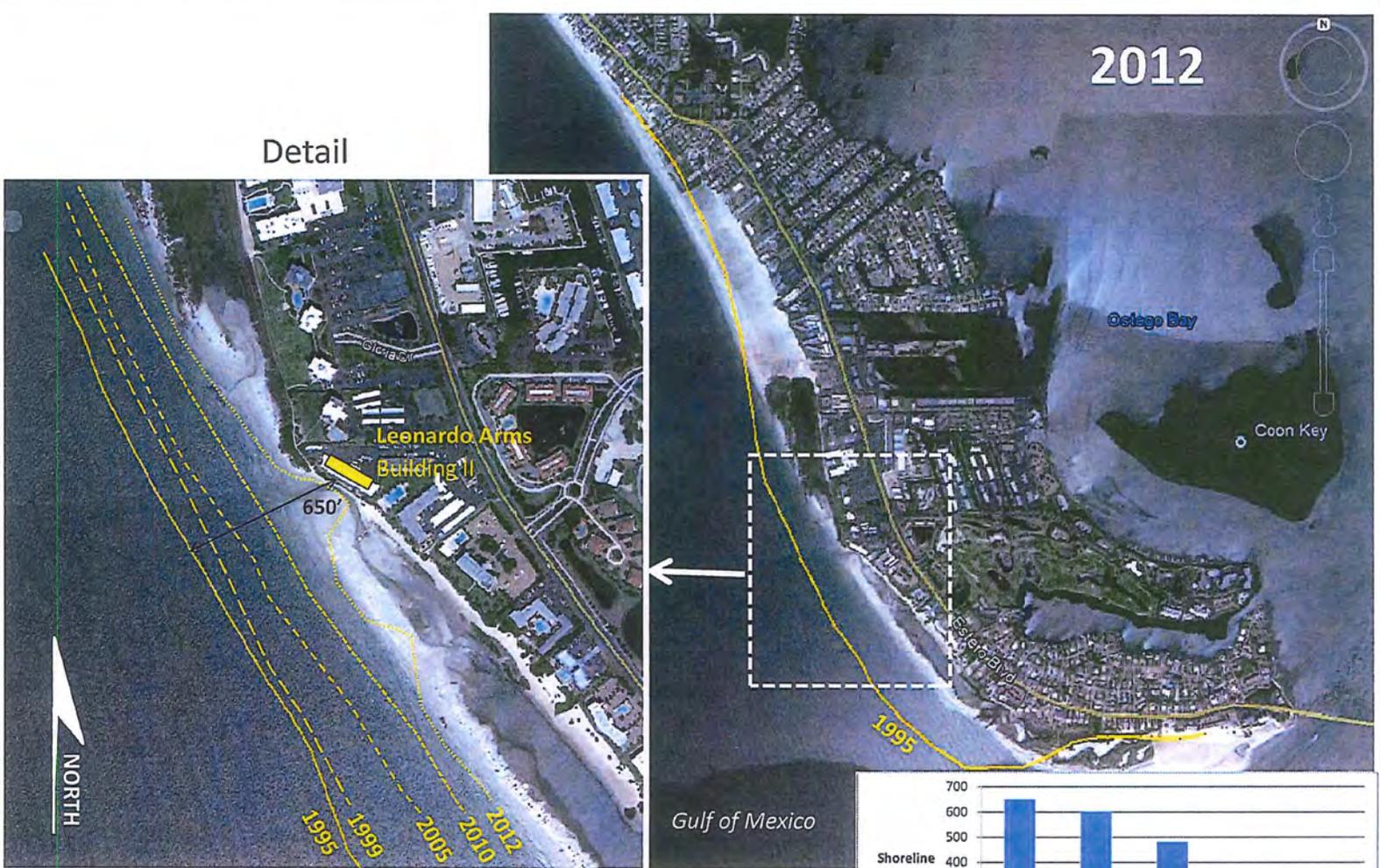


Figure 3. Shoreline Evolution at Leonardo Arms, 1995 to 2012



Figure 4. Leonardo Arms Photo During Tropical Storm Debby (06-2012)

g Whether the request will protect, conserve, or preserve environmentally critical areas and natural resources

The proposed project is outside the existing Critical Wildlife Area which has already experienced significant erosion over the last few years. The proposed activity will include planting of native plants such as sea oats, thus enhancing and promoting the natural resources which have been severely affected by recent storm events.

h Whether the request will be compatible with existing or planned uses and not cause damage hazard, nuisance, or other detriment to persons or property

The proposed project will reduce potential for damage and other potential detriment to the existing property. The design has included buried placement of the existing rock at the north and south ends to reduce wave reflection and potential impacts to adjacent properties. The wall will be buried and will not adversely affect existing use and will help to maintain the historic use of the property.

i whether a request use will be in compliance with applicable general zoning provisions and supplemental regulations pertaining to the use set forth in this chapter.

Upon approval of the Special Exception for a retaining wall fronting on the Gulf of Mexico, the proposed project will be in compliance with the applicable general zoning provisions and supplemental regulations pertaining to the use of this property.

Granting the requested Special Exception could impact surrounding properties as follows:

The proposed retaining wall will be buried in front of Building II at the north end of the Leonardo Arms Condominium property. By designing the wall at the landward location along the existing grass back yard of the condominium in conjunction with dune fill and vegetation, and the buried rock segments to reduce wave reflection to the toward the adjacent properties, the potential impacts to the adjacent properties is minimized. In fact, the wall terminates within the property boundaries, to provide additional buffer from adverse impacts to adjacent properties.

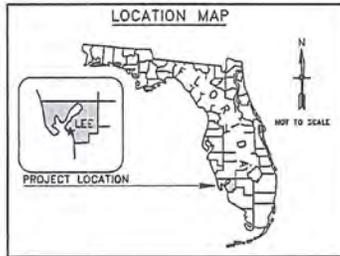
Figure 5 shows a location map with distances to adjacent properties, the areas north and south of the retaining wall are within the Leonardo Arms property. The nearest property to the south is approximately 350 feet away and should not be affected by the wall. The property to the north is approximately 110 feet from the proposed wall, but due to the wall orientation (facing south-west), it is expected that any potentially reflected waves would be reflected away from that property and not affect it. Additionally to further reduce the risk for impacts, small angles were selected at the north and south end corners to create a soft and gradual return rather than standard 90-degree returns typical at property lines. Furthermore, should the wall become exposed, the existing rocks placed at the base of the wall are designed to provide some wave attenuation and reduce wave energy.



Figure 5: Leonardo Arms Property and Adjacent Properties

LEONARDO ARMS RETAINING WALL & FILL PT. MYERS BEACH, LEE COUNTY, FLORIDA PERMIT PLANS

PRELIMINARY



DEP REFERENCE CONTROL					
MON ID	M. DATE	NORTHING (FEET)	EASTING (FEET)	AZIMUTH (DEGREES)	M. ELEV. (FEET NAVD)
R-204	COE1995	754979.6	688540.1	265.0	5.7
R-205	JAN1982	754511.0	689409.9	235.0	4.9
R-206	JAN1974	753582.5	690175.2	230.0	4.2
R-207	JAN1982	752698.0	690838.4	190.0	2.4

NOTES:

1. AERIAL PHOTOGRAPHS WERE TAKEN IN FEBRUARY 2012 PROVIDED COURTESY OF LEE COUNTY.
2. COORDINATES SHOWN ARE IN FEET BASED ON THE NORTH AMERICAN DATUM OF 1983, WEST ZONE (NAD83).
3. ELEVATIONS SHOWN ARE IN FEET BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. THE VERTICAL DATUMS ESTABLISHED BY DEP FOR THIS AREA ARE: MEAN HIGH WATER ELEVATION +0.17 NAVD, MEAN LOW WATER ELEVATION OF -1.58 NAVD, AND MEAN LOWER LOW WATER ELEVATION OF -2.04 NAVD BASED ON LABINS TIDE STATION "ESTERO ISLAND-OSTEGO BAY, FLORIDA" NUMBER 872-5331.
5. NOTE: THESE PERMIT DRAWINGS SHALL NOT BE CONSIDERED VALID FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY EITHER:

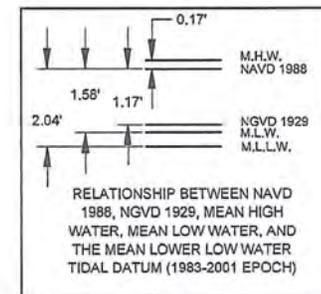
BRETT D. MOORE, P.E. #37326
 MOHAMED DABEES, P.E. #58003
 MARC DAMON, P.E. #70615



TIDAL DATUM	NGVD FEET	NAVD FEET
MHHW	+1.61	+0.45
MHW	+1.34	+0.17
NAVD	+1.17	0.0
NGVD	0.0	-1.17
MLW	-0.42	-1.58
MLLW	-0.88	-2.04

SHEET INDEX

1. COVER SHEET AND LOCATION MAP
2. EXISTING CONDITIONS
3. PROPOSED PLAN
4. CROSS SECTIONS
5. RETAINING WALL DETAIL
6. DUNE PLANTING DETAIL



HUMISTON & MOORE ENGINEERS <small>COASTAL ENGINEERING DESIGN AND PERMITTING</small>	LEONARDO ARMS RETAINING WALL AND FILL COVER SHEET & LOCATION MAP			5679 STRAND COURT NAPLES, FL 34110 FAX: (239) 594-2025 PHONE: (239) 594-2021 www.humistonandmoore.com
	FOR: LEONARDO ARMS PROPERTY ASSOC.			
	DATE: 7/24/13	FILE: PLAN	SCALE: SHOWN	
	JOB: 22-010	DATUM: SHOWN	SHEET: 1	

P:\M\12-2007-2008\Humiston\Humiston\2013\7/24/13\LEONARDO ARMS RETAINING WALL AND FILL COVER SHEET & LOCATION MAP.dwg, Plot: 14, 25, 2013

STATION	NORTHING (FEET)	EASTING (FEET)	AZIMUTH (DEGREES)
L-A	754887.13	688531.47	210
L-B	754812.77	688664.45	210
L-C	754776.63	688729.07	210

LEGEND

-  AREA TO BE FILLED WITH BEACH COMPATIBLE SAND
-  PROPOSED GRADING AND REPLANTING AREA (310' LONG APPROX.)
-  PROPOSED ROCK APRON BUILT WITH EXISTING ONSITE ROCK (30' LONG APPROX. PER APRON)

- NOTES:**
1. AERIAL PHOTOGRAPHS WERE TAKEN IN FEBRUARY 2012 PROVIDED COURTESY OF LEE COUNTY.
 2. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88).
 3. COORDINATES ARE IN FEET AND REFERENCE THE NAD83 HORIZONTAL DATUM FLORIDA WEST ZONE.
 4. PROPOSED WALL LOCATION SHOWN AT THE MAY VARY AT THE TIME OF CONSTRUCTION.

DEPRECEMENT MONUMENT R-204
 N: 754889.76
 E: 688540.71
 ELEV: 5.7

PRELIMINARY

CRITICAL WILDLIFE AREA BOUNDARY LINE

MANILA LOCATED 1/28/13

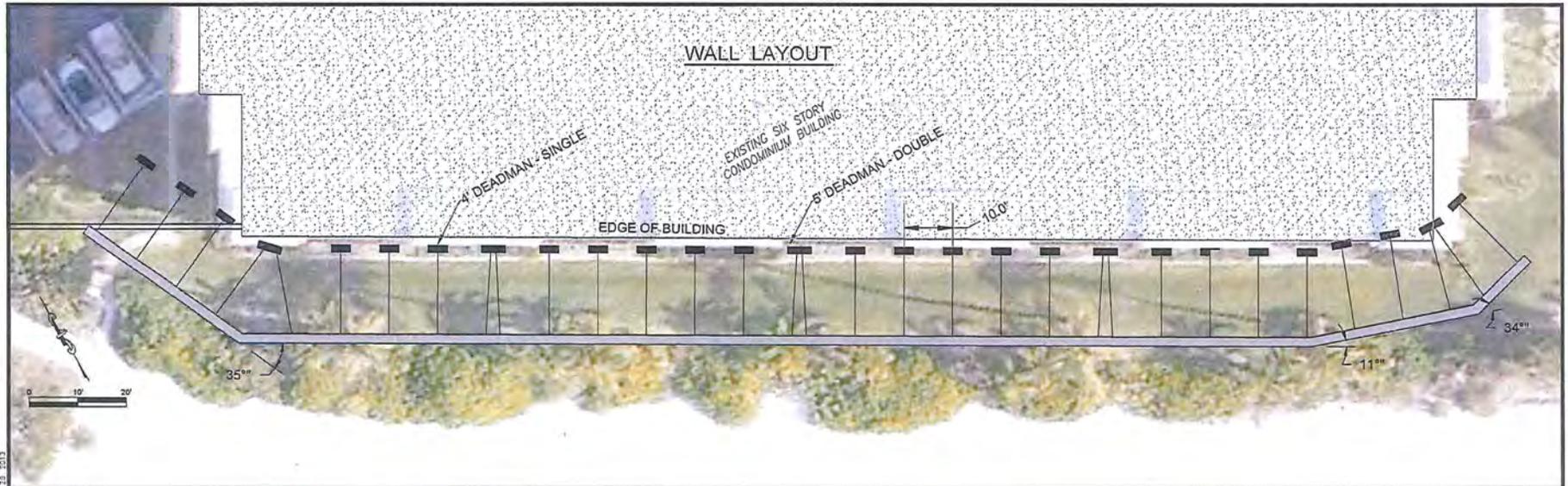
LEONARDO ARMS BEACH CLUB CONDOMINIUM UNIT
 1976 COASTAL CONSTRUCTION SETBACK LINE
 EDGE OF BUILDING

PROPOSED FILL AREA (400 CY)

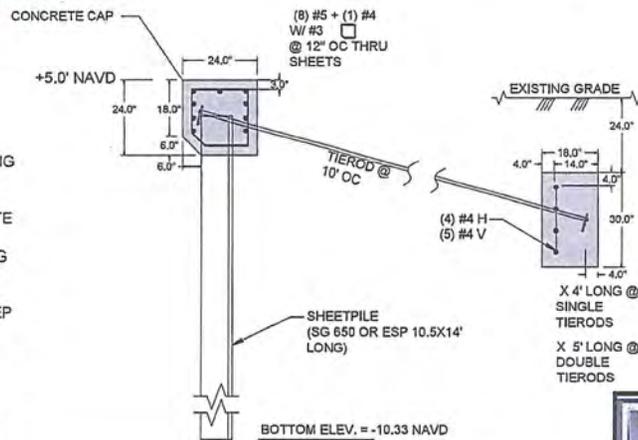
GULF OF MEXICO

	HUMISTON & MOORE ENGINEERS	LEONARDO ARMS RETAINING WALL AND FILL PROPOSED CONDITIONS	
	COASTAL ENGINEERING DESIGN AND PERMITTING	FOR: LEONARDO ARMS PROPERTY ASSOC.	
	DATE: 7/24/13	FILE: PLAN	SCALE: SHOWN
	JOB: 22-010	DATUM: SHOWN	SHEET: 3
			5679 STRAND COURT NAPLES, FL 34110 FAX: (239) 594-2025 PHONE: (239) 594-2021 www.humistonandmoore.com

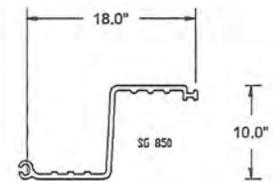
P:\0114\22-001-22-010-Leonardo Arms\072013\DWG\22-010-010-010-Plan\2013_07_24\Coastal Plans\Plans\1 Area 4.dwg, Plot: Jul 25, 2013



SHEET PILE & WALL ANCHOR DETAIL



SHEET PILE DETAIL



NOTES:

1. SHEETS - SG 850 OR ESP 10.5 X 14' LONG VINYL SHEETS
2. CONCRETE - 500 PSI AT 28 DAYS
3. REBAR - GRADE 60, PLAIN 3" CONCRETE COVER
4. TIER ROD - 1" DIAMETER X 19' LONG HDG PVC ENCASED W/(2) 6" x 6" x 1/2" HDG WASHERS AND NUTS, A-36
5. SHEETS TO BE INSTALLED IN 3'+/- DEEP TRENCH AND DRIVEN FULL LENGTH. AFTER CAP POURED, BACKFILL WITH CLEAN SANDY MATERIAL MEETS FBC 2010.
6. MEETS FBC 2010.
7. SHEET MATERIAL AND ANCHORING SYSTEM TO BE DETERMINED AT THE TIME OF CONSTRUCTION.

PRELIMINARY



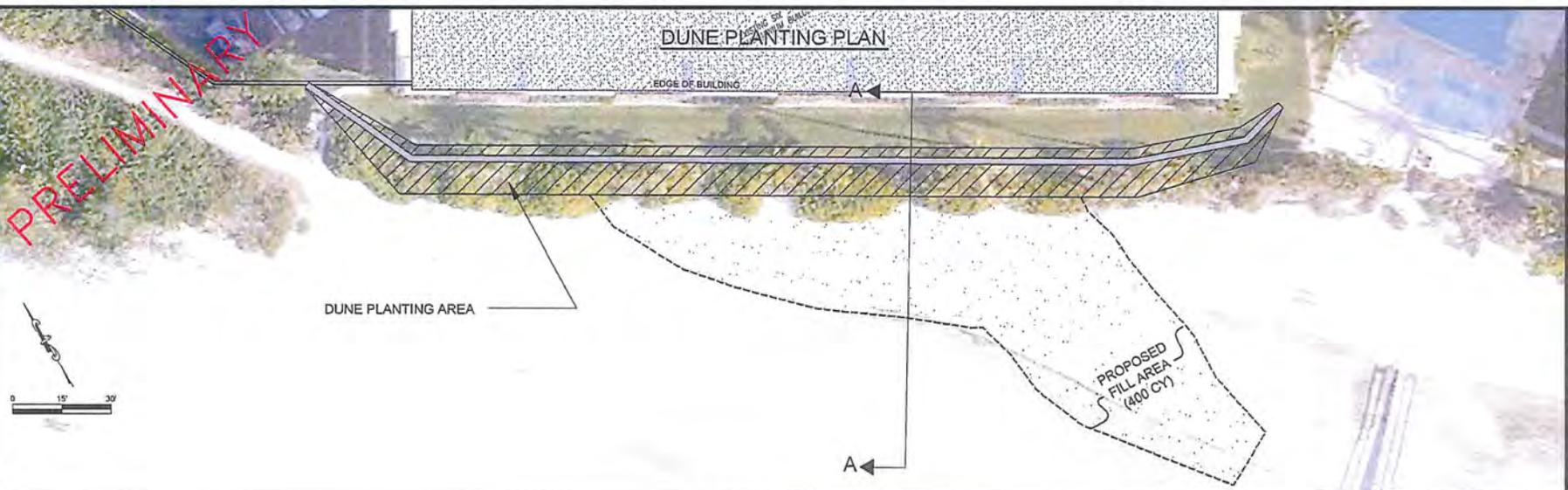
HUMISTON & MOORE ENGINEERS
 COASTAL ENGINEERING DESIGN AND PERMITTING
 LEONARDO ARMS RETAINING WALL AND FILL WALL DETAIL
 FOR: LEONARDO ARMS PROPERTY ASSOC.
 DATE: 6/24/13 FILE: PLAN SCALE: SHOWN
 JOB: 22-010 DATUM: SHOWN SHEET: 5

REUBEN CLARSON CONSULTING
 972-31ST AVE. NE.
 ST. PETERSBURG, FL. 33704
 727-895-4717
 5679 STRAND COURT
 NAPLES, FL 34110
 FAX: (239) 594-2025
 PHONE: (239) 594-2021
 www.humistonandmoore.com

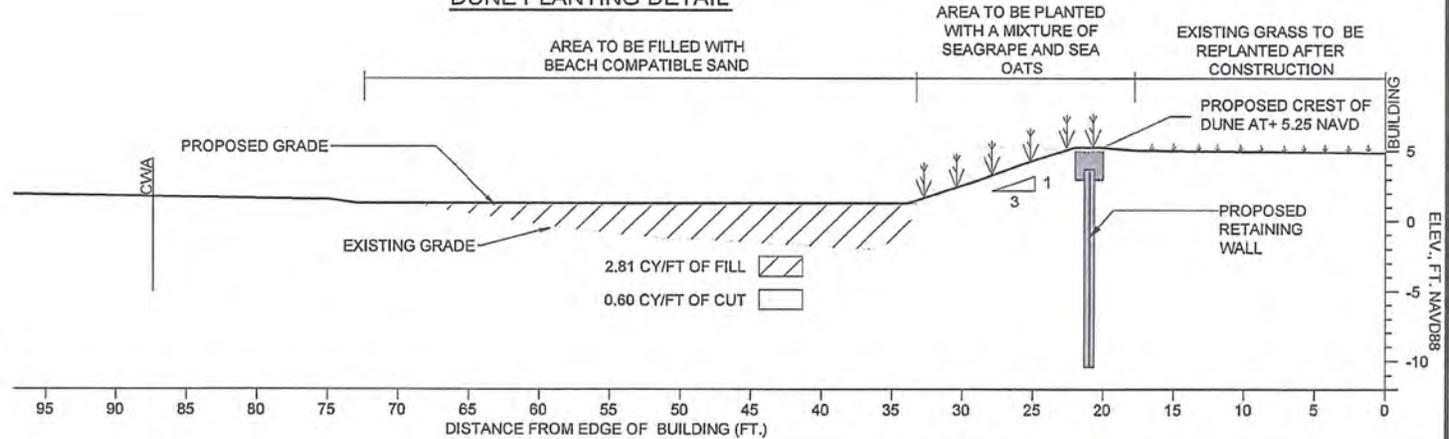
H:\2013\2013-010-Leonardo Arms\2013\Wall Detail.dwg - Print - Jul 18, 2013

PRELIMINARY

DUNE PLANTING PLAN



DUNE PLANTING DETAIL



NOTES:

1. ANY BEACH COMPATIBLE MATERIAL THAT RESULTS FROM THE EXCAVATION WILL BE INCORPORATED INTO THE PROPOSED DUNE. ANY MATERIAL THAT IS NOT BEACH COMPATIBLE MATERIAL WILL BE TAKEN OFFSITE.
2. DEPENDING ON LOCAL AVAILABILITY PLANT SELECTION MAY VARY AT THE TIME OF CONSTRUCTION

<p>HUMISTON & MOORE ENGINEERS COASTAL ENGINEERING DESIGN AND PERMITTING</p>	LEONARDO ARMS RETAINING WALL AND FILL DUNE PLANTING DETAIL		5679 STRAND COURT NAPLES, FL 34110
	FOR: LEONARDO ARMS PROPERTY ASSOC.		FAX: (239) 594-2025
	DATE: 6/24/13	FILE: PLAN	SCALE: SHOWN
	JOB: 22-010	DATUM: SHOWN	SHEET: 6

P:\21132-003\22-010\Leonardo Arms\DWG\2013\DWG\2013_Coastal_Engs\2013-06-25_Coastal_Engs.dwg Plot Jul 25, 2013

**Vulnerability Analysis
At Leonardo Arms Condominium,
Fort Myers Beach, Florida**

By
Humiston & Moore Engineers

Prepared for
Leonardo Arms Condominium
June 2013

Table of Contents

1-Introduction	2
2-Background	2
3- Erosion Modeling for High Frequency Storm Events	3
4- Conclusions.....	4
5- References.....	5

1-Introduction

This report provides the technical evaluation of the erosion along the beach front of the Leonardo Arms Condominium in support of a Coastal Construction Control Line (CCCL) permit application filed with the Florida Department of Environmental Protection (DEP). The analysis is based on available documentation of conditions following the shifting of the lagoon entrance in 2012, including historic data, survey data and observations from site visits from April 2012 to February 2013. This analysis also includes numerical modeling of potential storm erosion using the DEP storm erosion model to evaluate the building vulnerability to high frequency storms.

The Leonardo Arms Condominium is a beach front property on Fort Myers Beach, Lee County, Florida near the DEP reference monument R-204. **Figure 1** shows the location map of the Leonardo Arms Condominium, the property is located approximately 1 mile north of Big Carlos Pass, and approximately 200 feet from the Gulf of Mexico (as of the latest survey in 2013), which has varied considerably over the recent past.

2-Background

The south end of Fort Myers Beach has historically been protected from incoming waves by a prominent system of vegetated emergent shoals. Since the 1990's, these shoals, known as Little Estero Island, have been retreating rapidly. As shown in **Figure 2**, between 1995 and 2012, approximately 650 feet of shoreline has receded from the section of beach directly in front of the condominium, representing an approximate shoreline recession rate of 38 feet/year. This is also illustrated in **Figure 3** which presents a close-up of the property with the digitized shoreline positioning during that same time period. This **Figure 3** also indicates that the shoreline retreat has been consistent throughout the time period, and highlights the risk and increased vulnerability of the upland buildings in this area. To further illustrate this, historical profiles were plotted along the nearest DEP Monument at R-204, located near the north property line of Leonardo Arms Condominium. **Figure 4** shows the DEP Monument location, and **Figure 5** shows profiles collected from 1989 to 2012. These profiles show persistent recession of the emergent barrier and eventually its complete disappearance in this immediate area.

In April 2012, a small inlet connecting the Gulf of Mexico to the lagoon area behind the emergent barrier migrated north, directly in front of Building II of the Leonardo Arms. This inlet migration generated severe erosion of the upland with a steep 5 to 8 foot high escarpment a little over 20 feet away from the building's foundation. H&M was contracted by the Leonardo Arms board members to pursue an emergency permit for the placement of sandbags as a temporary measure to stop or reduce the erosion. In June 2012, tropical storm Debby generated storm surge and waves, which resulted in additional erosion north of the initial sandbag placement. **Figure 6** shows wave conditions during the tropical storm; the wave run-up and over-wash across the emergent shoal system, which contributed to its migration onshore, also transforming it into a sand spit or sand bar significantly less protective than the previous emergent barrier. **Figure 7** shows some of the damage from the storm, while a first row of sandbags was already in place. As part of a second phase, additional bags were placed in that



Figure 1. Location Map



Figure 2. Fort Myers Beach , Google Aerial Photos 1995 & 2012

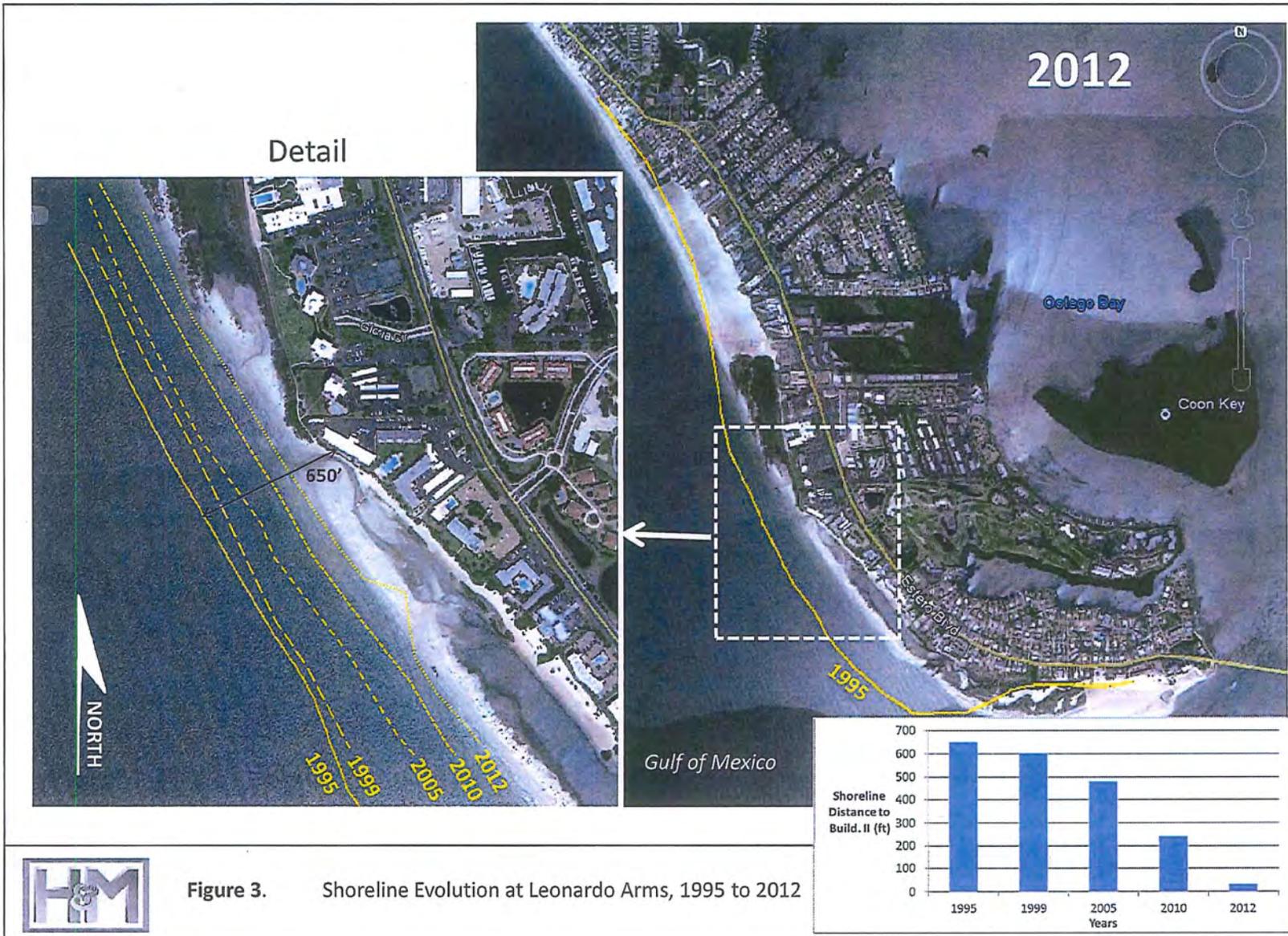
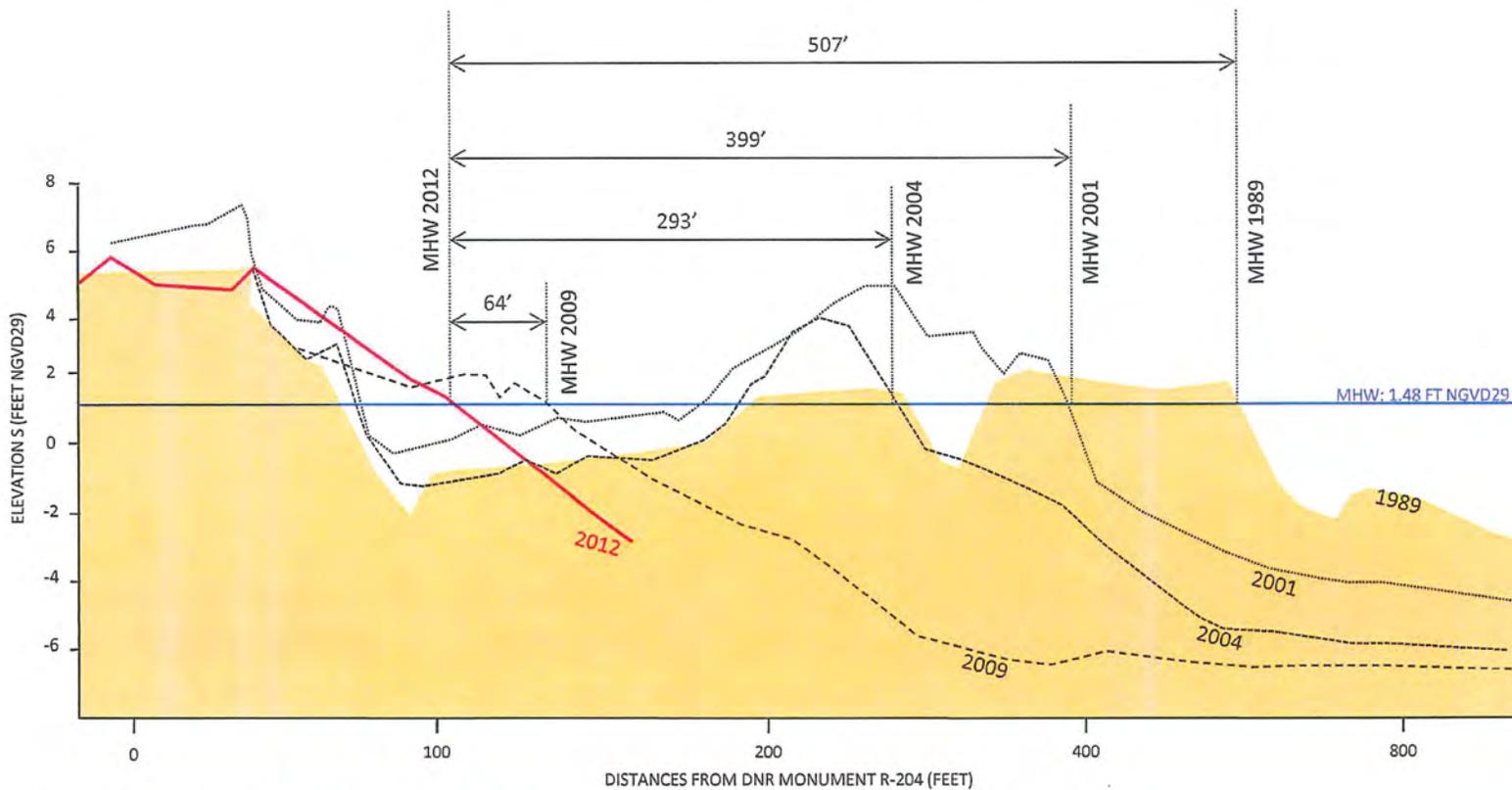




Figure 4. Location of DEP Monument and Profile at R-204 and LA-9 in front of Leonardo Arms Building II

DNR MONUMENT R-204, HISTORICAL PROFILES



NOTE: DISTANCES ARE APPROXIMATE, EXHIBIT FOR ILLUSTRATION PURPOSE



Figure 5: Historical Profiles from 1989 to 2012 at DNR Monument R-204



Figure 6. Leonardo Arms Photo During Tropical Storm Debby (06-2012)



Figure 7. Leonardo Arms Photo During Tropical Storm Debby (06-2012)

area to address the erosion problem. The surge from the storm contributed to move the offshore sand bar and remnant sand barrier closer to shore, also resulting in closure of the inlet opening in front of Building II.

Since the last placement of sandbags, conditions have stabilized, the beach has recovered to some extent, and the inlet has migrated back much closer to its original location to the south. The resulting beach profile shows that the offshore sand bar which also contributed to dissipating storm waves has migrated towards the shore, resulting in a broader beach as part of the limited recovery process. This is shown in **Figure 8** with an oblique aerial photograph from July 2012 and the approximate location of the MHWL. However, the low profile of the beach also means that offshore waves will be dissipated closer to shore during future storm events, resulting in potentially higher wave transmission and upland erosion. This series of events highlighted the overall vulnerability of the area to high frequency storm events, and larger storms.

The vulnerability analysis provided in this report was prepared in support of a CCCL application for a retaining wall. Based on DEP and the Town of Fort Myers Beach authorizations, the sandbags being a temporary measure, they will have to be removed within one year, regardless of the beach conditions at that time. The purpose of the proposed retaining wall will be to provide a more sustainable means of protection to Building II during high frequency storm events for the long-term.

3-Erosion Modeling for High Frequency Storm Events

Any measures taken to protect the Leonardo Condominium from storm impact through placement of dune fill and construction of a retaining wall will require construction activities seaward of the State Coastal Construction Control Line (CCCL). Such activities are regulated by the Florida Department of Environmental Protection (DEP) in accordance with Chapter 161.053, Florida Statutes, and the implementing Rule, Chapter 62B-33, Florida Administrative Code. Construction of a retaining wall places a fixed line within the dynamic beach system whereby the upland area becomes separated from the active beach. Decisions to move forward with pursuing a retaining wall became crucial when other avenues of protection such as dune enhancement became less effective resulting in potential for imminent structural damage to upland property.

In order to evaluate the option of pursuing a retaining wall, specific criteria in Chapter 62B-33, Florida Administrative Code, must be met to qualify for a Coastal Construction Control Line permit. Two important qualifying criteria up front are eligibility and vulnerability. With regard to eligibility, if an existing structure predates 1985 and was not permitted by the Florida DEP, then the structure meets the eligibility criteria. The Leonardo Arms Condominium is eligible because it was built prior to 1985. In addition, the structure must be threatened or deemed vulnerable to the impact of a 15-year return interval storm.

So as to evaluate the potential for meeting the state criteria and determine if a retaining wall can be considered for the Leonardo Condominium, Building II property, a vulnerability analysis was



Figure 8. Leonardo Arms Aerial Photo (04-2012) and Oblique (07-2012)

conducted. This analysis included numerical modeling of potential storm erosion using the DEP storm erosion model to evaluate the building's vulnerability and to satisfy the state permitting requirement for retaining wall qualification. The modeling included beach erosion from high frequency storm events. The CCCLa profile erosion model (Malakar and Dean, 1995), also referred to as the High Frequency Storm Erosion Model (HFSEM) is the erosion model that DEP uses to evaluate potential for dune erosion for high frequency storms and determination of vulnerability. High frequency storms are defined for the purposes of the model as storms having return periods less than or equal to 25 years. The model development included storm hydrographs (time series of storm surge elevation) and wave heights corresponding to high frequency return periods of 5, 10, 15 and 25 years, for 24 coastal counties in Florida.

The CCCLa dune erosion model was applied to a beach profile collected on January 28, 2013 at the Leonardo Arms Condominium, directly in front of Building II. **Figure 4** shows a plan view of the project area and the selected profile LA-9 for the dune erosion modeling presented herein. The dune and beach portion of the profile is based on an upland and wading depth survey completed on January 28, 2013, as part of the "as built survey". This means the data collected for the profile also includes the temporary sand bags. Since the bags are to be removed, the profile was adjusted to represent the stabilized profile post bag removal. Additionally, a 3 inch allowance was also included upland along the profile for damage or removal of existing grass in the area between the building and the sand bags which will be used by heavy machinery for conducting the bag removal work. The offshore part of the profile was based on a recent DEP offshore survey collected in 2009 at DNR monument R-204, both surveys were merged at MHW (+1.48 feet NGVD29). **Figure 9** shows the HFSEM model results for the selected profile at the Leonardo Arms Condominium; these indicate that Building II is vulnerable under a 15 year storm (15 year storm adjusted profile in red).

4-Conclusions

The analysis of available data and results of the storm erosion model show the vulnerability of the beach and dune system to extensive onshore and nearshore erosion under high frequency storm events. When considering:

1. The current level of vulnerability due to the amount of upland beach and dune area
2. The documented background erosion conditions since 1995,
3. The potential damage to existing building and property upland of the beach and limited dune area from high frequency storm events,
4. Concerns for human safety should erosion progress further, and
5. The absence of an on-going erosion control project

Construction of retaining walls at the present "dune line" and partially upland to remain as far landward as practical to protect upland property in conjunction with the placement of fill material with planting on the dune is the recommended plan of action. Plans prepared by Humiston & Moore Engineers meet this siting objective to provide upland protection and minimize potential impacts to the beach and dune system and potential sea turtle nesting habitat. Rock existing on site prior to the placement of the sand-filled bags in 2012, which were subsequently re-

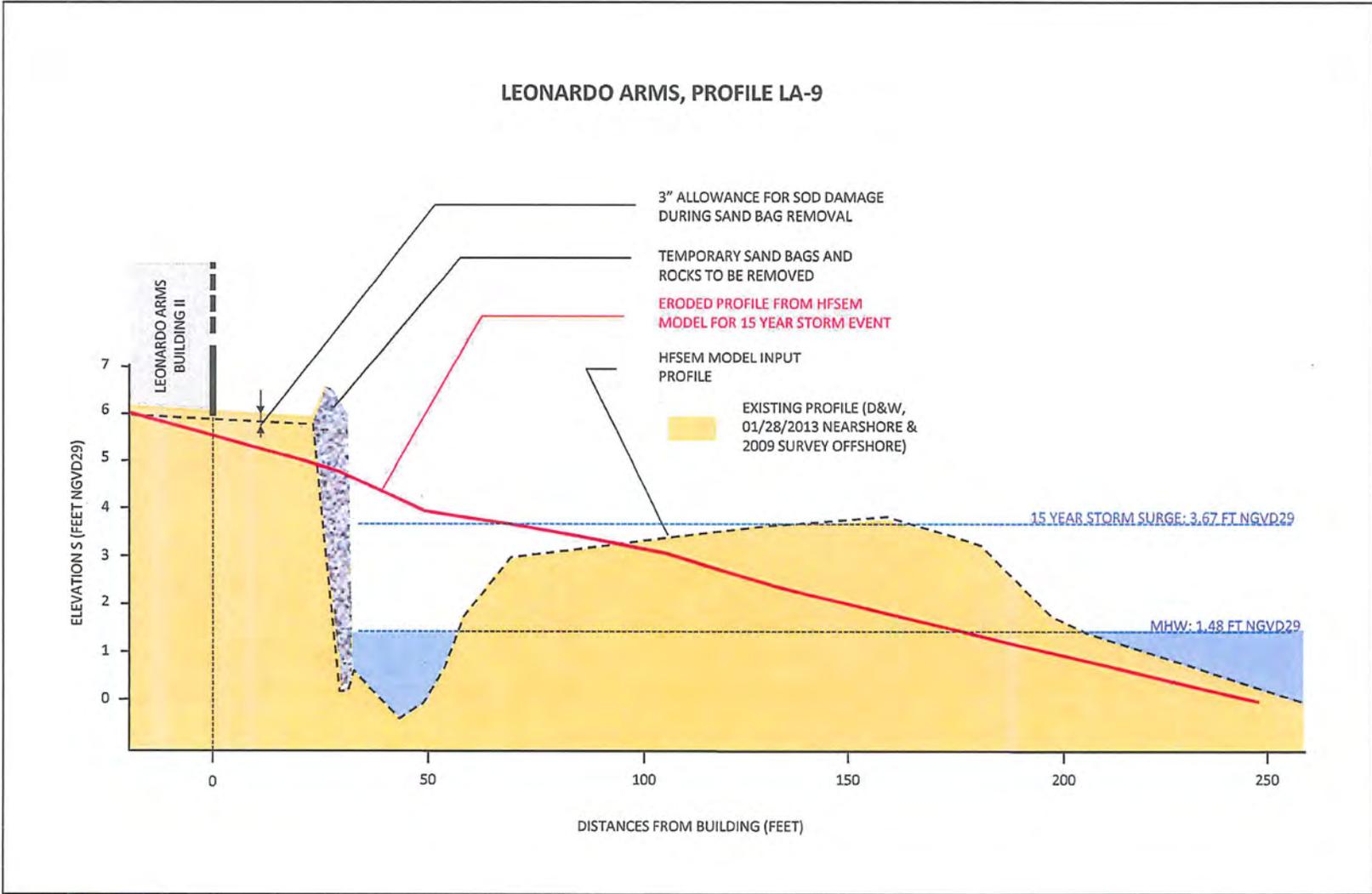


Figure 9. HFSEM Model results for a 15 year Storm Event at LA-9

positioned onto the upper portions of the profile between the bags and lawn, will be utilized again and strategically placed near the north and south wings of the project to reduce scour and wave reflection and minimize sand losses and impacts to upland at the ends of the project. The rock will also be set below +1 feet NAVD88 to avoid potential interference with sea turtle nesting.

5-References

Malakar, S. B. and Dean R.G., (1995). *Erosion Due to High Frequency Storm Events, 18 selected Coastal Counties of Florida User's Manual*, prepared for Division of Beaches and Shores, Department of Environmental Protection, Tallahassee, Florida. 23p.

Chapter 161, Florida Statutes

Chapter 62B-33, Florida Administrative Code

Dagostino & Wood, Inc., Beach Profile Data, March 2012 and January 28, 2013

DEP County-wide survey, 2009

Case # _____
Planner _____

Date Received _____
Date of Sufficiency/Completeness _____

Town of Fort Myers Beach
Department of Community Development



Zoning Division

Supplement PH-A

Additional Required Information for a Special Exception Application

This is the second part of a two-part application. This part requests specific information for a special exception. Include this form with the Request for Public Hearing form.

Project Name: Leonardo Arms Retaining Wall
Authorized Applicant: Humiston & Moore Engineers
LeePA STRAP Number(s): 03-47-24-W4-02100.00CE

Current Property Status:
Current Zoning: RM and EC
Future Land Use Map (FLUM) Category: Mixed Resident/Recreation
Platted Overlay? <input type="checkbox"/> yes <input type="checkbox"/> no FLUM Density Range:

Requested Action:
<input checked="" type="checkbox"/> Use of premises in the EC (Environmentally Critical) zoning district for: Construction of a retaining wall and dune restoration for critically vulnerable Building II of the Leonardo Arms Condominium.
<input type="checkbox"/> Use of premises in the _____ zoning district for:

For Consumption of Alcoholic Beverages (COP) license approval:

- a. Notarized authorization from the Property Owner to apply for permit
- b. A statement indicating the type of establishment, the type of state license to be acquired, and the planned hours of operation. Also indicate if the request includes outdoor seating areas and indicate the seating areas and capacity on the site plan.
- c. A map showing the locations of other properties within 500 feet of the request where consumption-on-premises uses are already in operation.
- d. The site plan must include the public entrances and exits to the building, the floor area and proposed seating capacity, and floor area and seating capacity of any areas within the building subdivided between restaurant and bar/lounge areas. The site plan should also indicate the parking area, including the spacing and the locations of entrances and exits.

For transit terminals:

The site plan must indicate the location of the bus stalls; commuter parking areas, if provided; taxi waiting stalls; circulation pattern for buses including the entrances and exits; and the location of any building(s) housing the terminal and waiting areas.

For use of the EC zoning district:

- a. If the location of the request is in the portion of the EC zoning district between Estero Boulevard and the Gulf of Mexico, provide a survey meeting the requirements of Chapter 62B-33.0081 of the Florida Administrative Code, also including the precise location of the (1978) Coastal Construction Setback Line for Estero Island recorded in Plat Book 33, Page 3, of the Official Records of Lee County, Florida.
- b. The site plan must indicate the precise location of the request on the subject property and any related details of the existing conditions or planned improvements to the subject property. For areas in the EC zoning district between Estero Boulevard and the Gulf of Mexico, the precise location of the request in relation to the (1978) Coastal Construction Setback Line must be shown on the site plan.

Guide to Filing Supplement PH-A for Special Exceptions

Case Number will be inserted by Community Development staff.

Project Name must be the same as the name used on the Request for Public Hearing form.

Authorized Applicant must be the same as on the Request for Public Hearing form.

STRAP numbers must be the same as on the Request for Public Hearing form.

Current status of property must be the same as on the Request for Public Hearing form.

Requested Action: Indicate the nature of the request and include the current zoning of the property.

Part 1 Narrative Statements:

"Request for..."

Indicate the nature of the request that requires a special exception, and explain why it requires a special exception. Describe the relationship of the requested use to any existing use(s) of the property, if applicable.

"The property qualifies for a special exception because..."

Explain why the request and the subject property qualify for a special exception. Address the standards for decision-making for special exceptions that are provided in the Land Development Code, as follows:

- Whether there exist changed or changing conditions which make approval of the request appropriate.
- Whether the request is consistent with the goals, objectives, policies, and intent of the Fort Myers Beach Comprehensive Plan.
- Whether the request meets or exceeds all performance and locational standards for the proposed use.
- Whether the request will protect, conserve, or preserve environmentally critical areas and natural resources.

Case # _____
Planner _____

Date Received _____
Date of Sufficiency/Completeness _____

- Whether the request will be compatible with existing or planned uses and not cause damage, hazard, nuisance, or other detriment to persons or property.
- Whether a requested use will be in compliance with the applicable general zoning provisions and supplemental regulations set forth in Chapter 34 of the Land Development Code.

“Granting the requested special exception could impact surrounding properties as follows...”

Explain how this request, if granted for the subject property, could affect the surrounding properties and the existing or planned uses on those properties.

Part 2 Submittal Requirements

Public Hearing Application Form. Applications for special exception consist of the Public Hearing form and the supplemental form PH-A. Both parts of the application form must be completed and submitted.

Site Plan. The site plan should be to scale and should indicate the location of the request on the property. Existing buildings and other improvements (such as swimming pools, fences, decks, or parking lots) should also be shown on the site plan. The site plan should also indicate the existing uses on adjacent properties. Also include any additional relevant detail related to the specific request.

ATTACHMENT A

Special Exception – Part 1

Supplemental Information

A. Request for: (indicate the proposed use that requires a special exception)

The Leonardo Arms Condominium Association is seeking permit approval from the Town of Fort Myers Beach for the construction of an upland retaining wall including placement of sand and vegetation as part of the dune restoration. The proposed wall is designed to be located landward of the existing bluff temporarily stabilized with sandbags and the Mean High Water Line (MHW); vegetation planting is proposed seaward of the wall to stabilize the sand fill. Existing rock on the bluff will be buried at the base of the wall for added protection, stability, and to help reduce effects to adjacent properties. The attached **Figure 1** is a sketch of the proposed activity; the black dashed line represents the existing beach profile (Building II is represented on the left hand side of the exhibit and the Gulf of Mexico is on the right end side). The thick black line represents the proposed retaining wall, and the beige shaded area shows the proposed sand fill placement. A set of plans are also attached for reference providing more detail in **Attachment B**. Since the Leonardo Arms Condominium is a beach front property on the Gulf of Mexico, permitting of a retaining wall requires a Special Exception from the Town according to the Fort Myers Building Code, Section 26-77(b).

B. Reasons for request: (state how the property qualifies for a special exception and what impact granting the request could have on surrounding properties. Direct these statements toward the guidelines in LDC Section 34-88)

Considerations: The following relevant criteria and guidelines in Section 34-88 of the Town's Land Development Code are presented for consideration:

a Whether there exist changed or changing conditions which make approval of the request appropriate.

The section of shoreline in front of Building II of the Leonardo Arms Condominium has experienced extreme erosion over the last 15 years, with accelerated erosion this past year warranting a declaration of shoreline emergency by the Town Council on March 19, 2012 (Resolution No. 12-05). The opening to the lagoon behind the emergent shoal historically known as Little Estero Island migrated rapidly north, to a position directly in front of Leonardo Arms Condominium. This resulted in a sudden loss of protection from the beach and sand bar historically seaward of the building, and direct exposure to the Gulf of Mexico. The shoreline has receded approximately 650 feet between 1995 and 2012 to a point where Building II was only approximately 30 feet from the waters of the Gulf of Mexico. This is illustrated in the attached **Figures 2 and 3** with a comparative aerial photo from 1995 and 2012 (**Figure 2**) and with the historical shoreline evolution (**Figure 3**). In addition, the photograph shows how the location of Building II is in an especially vulnerable position to storm impacts.

Based on the shoreline changes and current beach conditions, Building II is directly vulnerable to potential impact from wave conditions such as experienced during tropical storm Debby back in June 2012. At the time, temporary emergency sandbags had been permitted and deployed under the emergency procedures supported by the Town and DEP. These bags, however, were an emergency temporary measure to provide immediate limited protection and did not completely prevent further erosion from occurring as shown in **Figure 4**. During the storm, the erosion progressed as close as 15 feet from the building's foundation. These sandbags were authorized as a temporary measure, and they will have to be removed at which time Building II will be further vulnerable to future storm events. For the purpose of obtaining a DEP permit for a retaining wall, a vulnerability analysis was prepared (see **Attachment C**), and the analysis

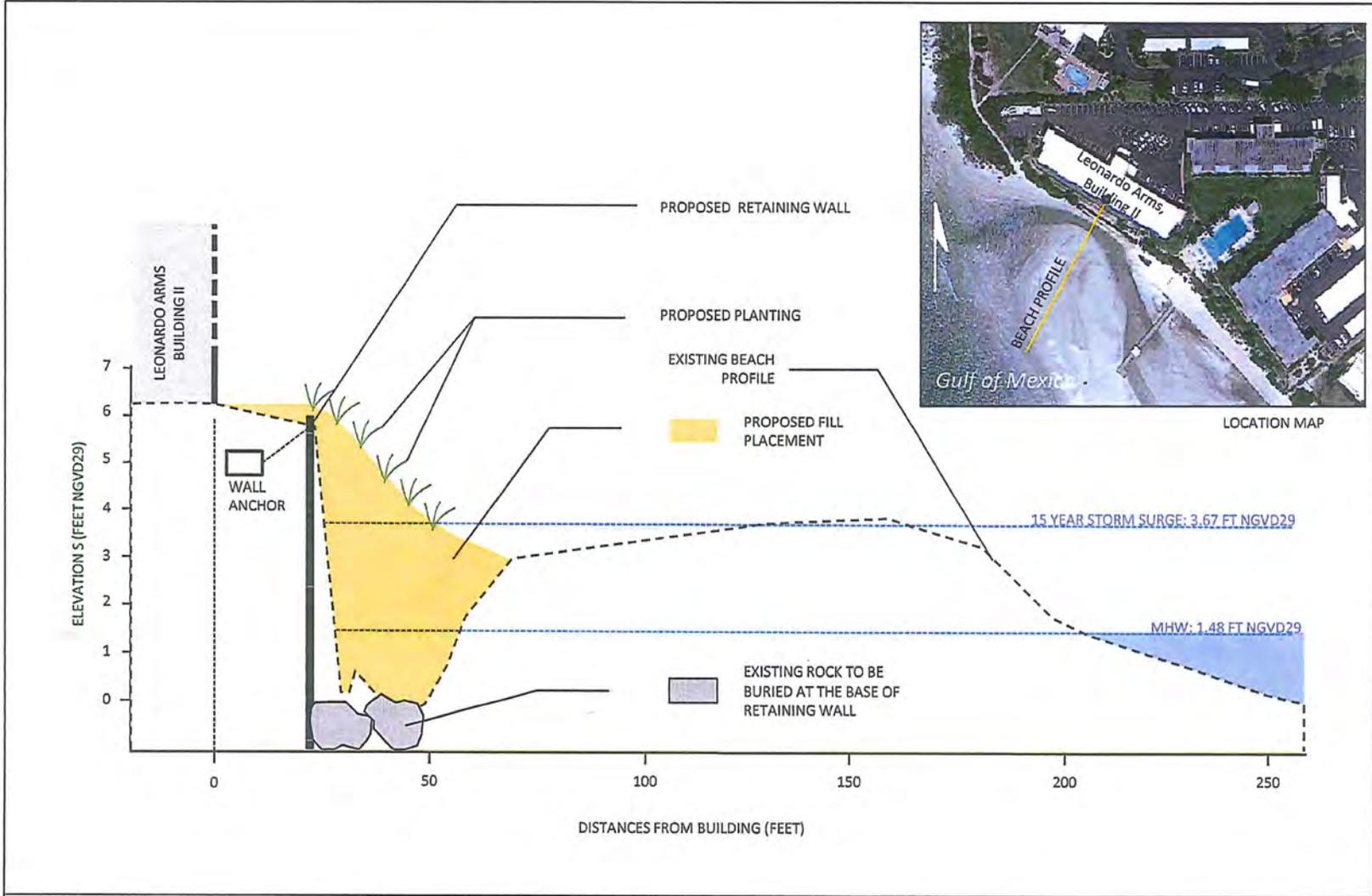


Figure 1. Beach Profile and proposed retaining wall project sketch



Figure 2. Fort Myers Beach , Google Aerial Photos 1995 & 2012

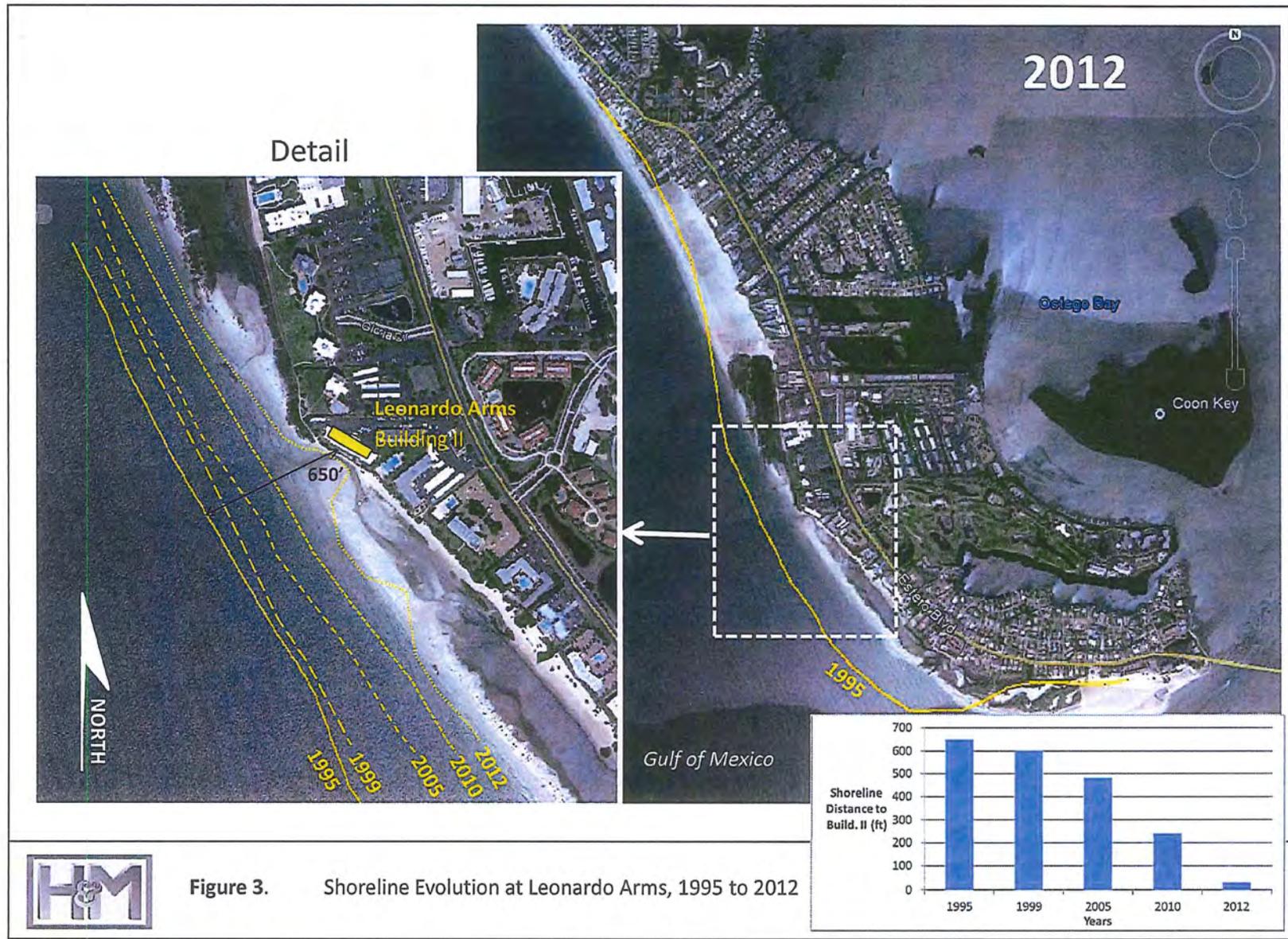


Figure 3. Shoreline Evolution at Leonardo Arms, 1995 to 2012





Figure 4. Leonardo Arms Photo During Tropical Storm Debby (06-2012)

concludes that the foundation of Building II could be exposed, undermining the stability of the building under a 15-year storm event which has a storm surge of less than 4 feet.

In summary, taking into account the combination of factors listed below, the Leonardo Arms Condominium is in a unique situation along the coast of Fort Myers Beach that requires a retaining wall to protect its foundation from erosion and scour as experienced during frequently occurring storm events.

- ongoing and sudden erosion
- reduced protective sand barrier
- absence of a County nourishment program in the area
- termination of temporary sand bag permit
- continued vulnerability of Leonardo Arms Building II

e Whether the request is consistent with goals, objectives policies and intent of the Fort Myers Beach Comprehensive Plan.

The Fort Myers Beach Comprehensive Plan, Coastal Management Element does not identify the area of the Leonardo Arms as erosional. However the Coastal Management Element was prepared in 1997, and up till that time, this section of shoreline was relatively stable and protected by the emergent vegetated shoal known as Little Estero Island. As discussed in Item (b) of this request for Special Exception, shoreline erosion has been severe and consistent since 1995 in this area as shown in **Figure 2 and 3**. The sand losses and rapid shoreline change in the vicinity of this project site was not a result of any action taken by the upland property owner. This section of the shoreline is heavily influenced by the sand and waves propagating to shore from the Big Carlos Pass ebb shoal system. That inlet system has been used as a resource of sand for beach nourishment further south on Lovers Key and Bonita Beach. Additional dredging of that shoal system has recently been approved for beach restoration projects on Lovers Key and Bonita Beach.

The protected measures recommended in the Management Plan consist of the following:

- Beach nourishment: The beach in front of the Leonardo Arms Condominium is not part the county's renourishment program.
- Sand dunes: The proposed project includes sand placement and planting, to reestablish a sand dune.
- Building relocation: this alternative is not feasible.
- Shoreline protection through hardened structure: This is part of the alternative being pursued with the retaining wall in conjunction with the sand dune restoration above. However, the Coastal Management Plan also states that retaining walls require a special exception when located along the Gulf of Mexico, this is the reason for our request for a Special Exception. The wall has been set as close as practical to the condominium building which allows for the opportunity for dune restoration as part of the design.

f Whether the request meets or exceeds all performance and locational standards set forth for the proposed use

As noted above the proposed siting of the retaining wall is approximately 20 feet seaward of the condominium building which is the minimum distance reasonable for a tie-back system. The retaining wall is upland of the existing temporary protection, upland of mean high water and upland of the Critical Wildlife Area. This design was chosen over a rock revetment due to the policies of the Florida Fish and Wildlife Conservation Commission recommending a vertical structure over a sloping revetment in order to minimize the area of structure to avoid potential take of sea turtle nesting habitat.

g Whether the request will protect, conserve, or preserve environmentally critical areas and natural resources

The proposed project is outside the existing Critical Wildlife Area which has already experienced significant erosion over the last few years. The proposed activity will include planting of native plants such as sea oats, thus enhancing and promoting the natural resources which have been severely affected by recent storm events.

h Whether the request will be compatible with existing or planned uses and not cause damage hazard, nuisance, or other detriment to persons or property

The proposed project will reduce potential for damage and other potential detriment to the existing property. The design has included buried placement of the existing rock at the north and south ends to reduce wave reflection and potential impacts to adjacent properties. The wall will be buried and will not adversely affect existing use and will help to maintain the historic use of the property.

i whether a request use will be in compliance with applicable general zoning provisions and supplemental regulations pertaining to the use set forth in this chapter.

Upon approval of the Special Exception for a retaining wall fronting on the Gulf of Mexico, the proposed project will be in compliance with the applicable general zoning provisions and supplemental regulations pertaining to the use of this property.

Granting the requested Special Exception could impact surrounding properties as follows:

The proposed retaining wall will be buried in front of Building II at the north end of the Leonardo Arms Condominium property. By designing the wall at the landward location along the existing grass back yard of the condominium in conjunction with dune fill and vegetation, and the buried rock segments to reduce wave reflection to the toward the adjacent properties, the potential impacts to the adjacent properties is minimized. In fact, the wall terminates within the property boundaries, to provide additional buffer from adverse impacts to adjacent properties.

Figure 5 shows a location map with distances to adjacent properties, the areas north and south of the retaining wall are within the Leonardo Arms property. The nearest property to the south is approximately 350 feet away and should not be affected by the wall. The property to the north is approximately 110 feet from the proposed wall, but due to the wall orientation (facing south-west), it is expected that any potentially reflected waves would be reflected away from that property and not affect it. Additionally to further reduce the risk for impacts, small angles were selected at the north and south end corners to create a soft and gradual return rather than standard 90-degree returns typical at property lines. Furthermore, should the wall become exposed, the existing rocks placed at the base of the wall are designed to provide some wave attenuation and reduce wave energy.



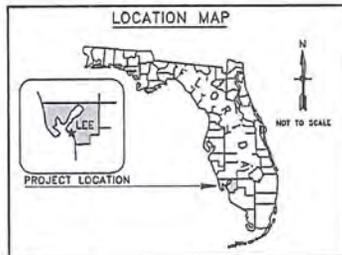
Figure 5: Leonardo Arms Property and Adjacent Properties

ATTACHMENT B

Construction Plans

LEONARDO ARMS RETAINING WALL & FILL FT. MYERS BEACH, LEE COUNTY, FLORIDA PERMIT PLANS

PRELIMINARY



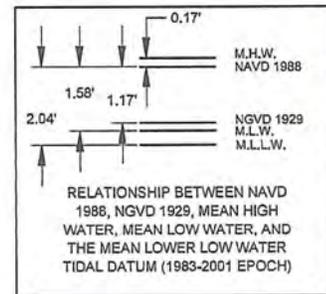
DEP REFERENCE CONTROL					
MON ID	M. DATE	NORTHING (FEET)	EASTING (FEET)	AZIMUTH (DEGREES)	M. ELEV. (FEET NAVD)
R-204	COE1995	754979.6	688540.1	265.0	5.7
R-205	JAN1982	754511.0	689409.9	235.0	4.9
R-206	JAN1974	753582.5	690175.2	230.0	4.2
R-207	JAN1982	752698.0	690818.4	190.0	2.4



TIDAL DATUM	NGVD FEET	NAVD FEET
MHHW	+1.61	+0.45
MHW	+1.34	+0.17
NAVD	+1.17	0.0
NGVD	0.0	-1.17
MLW	-0.42	-1.58
MLLW	-0.88	-2.04

SHEET INDEX

1. COVER SHEET AND LOCATION MAP
2. EXISTING CONDITIONS
3. PROPOSED PLAN
4. CROSS SECTIONS
5. RETAINING WALL DETAIL
6. DUNE PLANTING DETAIL



NOTES:

1. AERIAL PHOTOGRAPHS WERE TAKEN IN FEBRUARY 2012 PROVIDED COURTESY OF LEE COUNTY.
2. COORDINATES SHOWN ARE IN FEET BASED ON THE NORTH AMERICAN DATUM OF 1983, WEST ZONE (NAD83).
3. ELEVATIONS SHOWN ARE IN FEET BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDB8).
4. THE VERTICAL DATUMS ESTABLISHED BY DEP FOR THIS AREA ARE: MEAN HIGH WATER ELEVATION +0.17 NAVD, MEAN LOW WATER ELEVATION OF -1.58 NAVD, AND MEAN LOWER LOW WATER ELEVATION OF -2.04 NAVD BASED ON LABINS TIDE STATION "ESTERO ISLAND-OSTEGO BAY, FLORIDA" NUMBER 872-5331.
5. NOTE: THESE PERMIT DRAWINGS SHALL NOT BE CONSIDERED VALID FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY EITHER:

BRETT D. MOORE, P.E. #37326
 MOHAMED DABEES, P.E. #58003
 MARC DAMON, P.E. #70615



LEONARDO ARMS RETAINING WALL AND FILL
 COVER SHEET & LOCATION MAP
 FOR: LEONARDO ARMS PROPERTY ASSOC.
 DATE: 7/24/13 FILE: PLAN SCALE: SHOWN
 JOB: 22-010 DATUM: SHOWN SHEET: 1

5679 STRAND COURT
 NAPLES, FL 34110
 FAX: (239) 594-2025
 PHONE: (239) 594-2021
 www.humistonandmoore.com

STATION	NORTHING (FEET)	EASTING (FEET)	AZIMUTH (DEGREES)
L-A	754887.13	688531.47	210
L-B	754812.77	688664.45	210
L-C	754776.63	688729.07	210

- NOTES:
1. AERIAL PHOTOGRAPHS WERE TAKEN IN FEBRUARY 2012 PROVIDED COURTESY OF LEE COUNTY.
 2. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88). ELEVATIONS ARE BASED UPON FLORIDA DEPARTMENT OF NATURAL RESOURCES RANGE MONUMENT "R-204" HAVING A RECORD ELEVATION OF 5.73' (NAVD '88) AS PUBLISHED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 3. EXISTING CONDITIONS INCLUDING SPOT ELEVATIONS, AND EXISTING RIP RAP LOCATIONS BASED ON SURVEY BY DAGOSTINO & WOOD INC. DATED 1/28/2013.
 4. COORDINATES ARE IN FEET AND REFERENCE THE NAD83 HORIZONTAL DATUM FLORIDA WEST ZONE

LEGEND

-  EXISTING PONDING AREA TO BE FILLED WITH BEACH COMPATIBLE SAND
-  TEMPORARY SAND BAGS (185' LONG APPROX.) CONSTRUCTED 05-2012 THE BEACH COMPATIBLE SAND WITHIN THE BAGS WILL BE PLACED ON THE BEACH & PROPOSED DUNE AREA
-  EXISTING RIP RAP (APPROX. 300' LONG)

DEPRECEMENT MONUMENT R-204
 N: 754879.6
 E: 688540.7
 ELEV: 5.7

EXISTING ALUMINUM FENCE TO BE TEMPORARILY REMOVED FOR CONSTRUCTION ACCESS

LEONARDO ARMS BEACH CLUB CONDOMINIUM UNIT 111
 EDGE OF BUILDING

1988 COASTAL CONSTRUCTION SETBACK LINE

CRITICAL WILDLIFE AREA BOUNDARY LINE

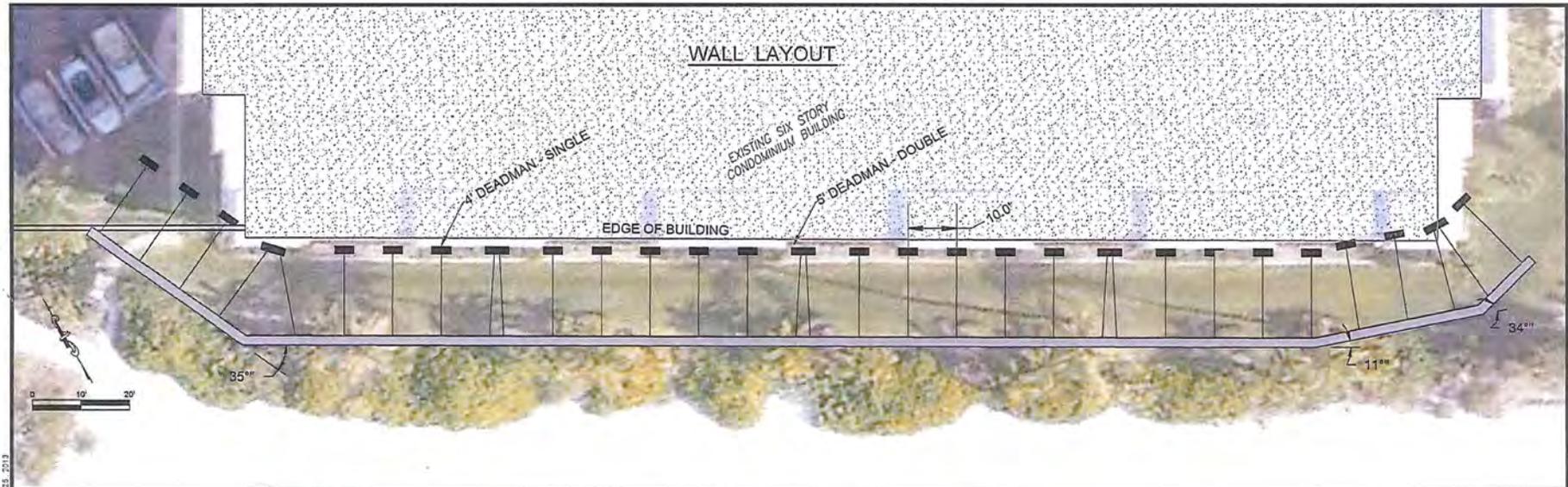
SMALL PONDING AREAS
 AVG. DEPTH ±1.5

PRELIMINARY

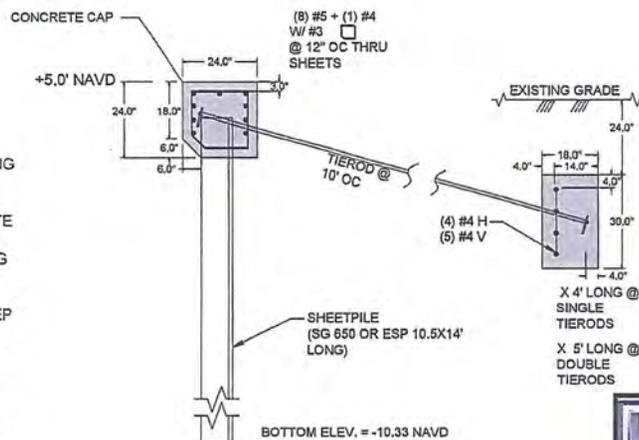
P:\2013\22-010\LEONARDO ARMS\22-010 LEONARDO ARMS\DWG\DWG\22-010-001-PLAN-EXISTING CONDITIONS.dwg, Plot: Jul 25, 2013



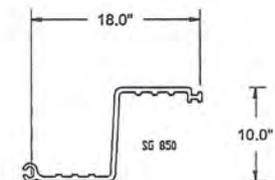
 HUMISTON & MOORE ENGINEERS <small>COASTAL ENGINEERING DESIGN AND PERMITTING</small>	LEONARDO ARMS RETAINING WALL AND FILL EXISTING CONDITIONS			5679 STRAND COURT NAPLES, FL 34110 FAX: (239) 594-2025 PHONE: (239) 594-2021 www.humistonandmoore.com
	FOR: LEONARDO ARMS PROPERTY ASSOC.			
	DATE: 7/24/13	FILE: PLAN	SCALE: SHOWN	
	JOB: 22-010	DATUM: SHOWN	SHEET: 2	



SHEET PILE & WALL ANCHOR DETAIL



SHEET PILE DETAIL



NOTES:

1. SHEETS - SG 850 OR ESP 10.5 X 14' LONG VINYL SHEETS
2. CONCRETE - 500 PSI AT 28 DAYS
3. REBAR - GRADE 60, PLAIN 3" CONCRETE COVER
4. TIER ROD - 1" DIAMETER X 19' LONG HDG PVC ENCASED W/ (2) 6" x 6" x 1/2" HDG WASHERS AND NUTS, A-36
5. SHEETS TO BE INSTALLED IN 3'+/- DEEP TRENCH AND DRIVEN FULL LENGTH. AFTER CAP POURED, BACKFILL WITH CLEAN SANDY MATERIAL
6. MEETS FBC 2010.
7. SHEET MATERIAL AND ANCHORING SYSTEM TO BE DETERMINED AT THE TIME OF CONSTRUCTION.

PRELIMINARY



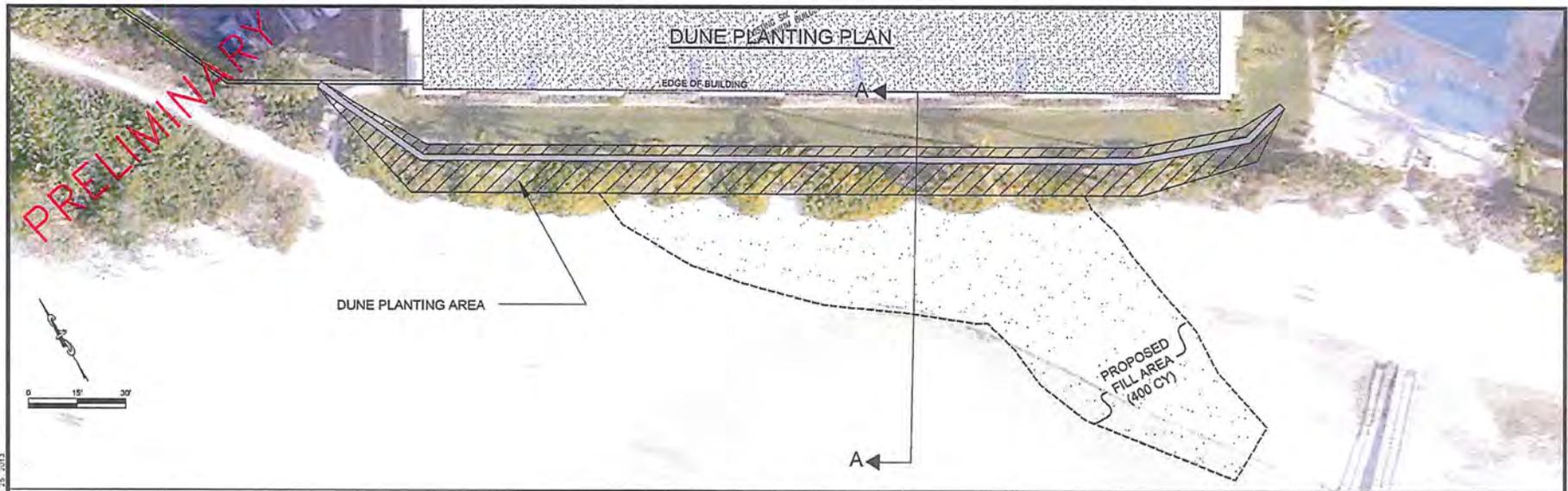
LEONARDO ARMS RETAINING WALL AND FILL WALL DETAIL
FOR: LEONARDO ARMS PROPERTY ASSOC.
DATE: 6/24/13 FILE: PLAN SCALE: SHOWN
JOB: 22-010 DATUM: SHOWN SHEET: 5

REUBEN CLARSON CONSULTING
972-31ST AVE. NE.
ST. PETERSBURG, FL 33704
727-895-4717

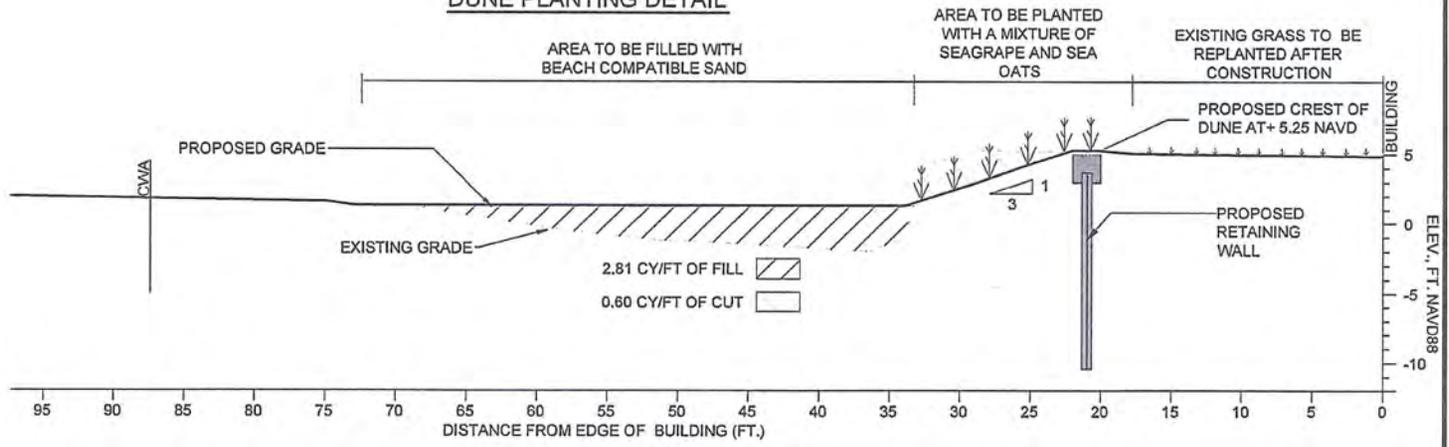
5679 STRAND COURT
NAPLES, FL 34110
FAX: (239) 594-2025
PHONE: (239) 594-2021
www.humistonandmoore.com

P:\22-010-LEONARDO ARMS RETAINING WALL AND FILL WALL DETAIL\22-010-LEONARDO ARMS RETAINING WALL AND FILL WALL DETAIL.dwg Plot: 06/25/2013 10:24:24 AM

PRELIMINARY



DUNE PLANTING DETAIL



NOTES:

1. ANY BEACH COMPATIBLE MATERIAL THAT RESULTS FROM THE EXCAVATION WILL BE INCORPORATED INTO THE PROPOSED DUNE. ANY MATERIAL THAT IS NOT BEACH COMPATIBLE MATERIAL WILL BE TAKEN OFFSITE.
2. DEPENDING ON LOCAL AVAILABILITY PLANT SELECTION MAY VARY AT THE TIME OF CONSTRUCTION

 HUMISTON & MOORE ENGINEERS COASTAL ENGINEERING DESIGN AND PERMITTING	LEONARDO ARMS RETAINING WALL AND FILL DUNE PLANTING DETAIL		5679 STRAND COURT NAPLES, FL 34110 FAX: (239) 594-2025 PHONE: (239) 594-2021 www.humistonandmoore.com
	FOR: LEONARDO ARMS PROPERTY ASSOC.		
	DATE: 6/24/13	FILE: PLAN	SCALE: SHOWN
	JOB: 22-010	DATUM: SHOWN	SHEET: 6

P:\2013\22-0022-010\Leonardo Arms\DWG\DWG\DWG.dwg Created: Fri Jun 24 2013 10:44:44 AM

ATTACHMENT C

Vulnerability Analysis

**Vulnerability Analysis
At Leonardo Arms Condominium,
Fort Myers Beach, Florida**

By
Humiston & Moore Engineers

Prepared for
Leonardo Arms Condominium

June 2013

Table of Contents

1-Introduction	2
2-Background	2
3- Erosion Modeling for High Frequency Storm Events	3
4- Conclusions.....	4
5- References.....	5

1-Introduction

This report provides the technical evaluation of the erosion along the beach front of the Leonardo Arms Condominium in support of a Coastal Construction Control Line (CCCL) permit application filed with the Florida Department of Environmental Protection (DEP). The analysis is based on available documentation of conditions following the shifting of the lagoon entrance in 2012, including historic data, survey data and observations from site visits from April 2012 to February 2013. This analysis also includes numerical modeling of potential storm erosion using the DEP storm erosion model to evaluate the building vulnerability to high frequency storms.

The Leonardo Arms Condominium is a beach front property on Fort Myers Beach, Lee County, Florida near the DEP reference monument R-204. **Figure 1** shows the location map of the Leonardo Arms Condominium, the property is located approximately 1 mile north of Big Carlos Pass, and approximately 200 feet from the Gulf of Mexico (as of the latest survey in 2013), which has varied considerably over the recent past.

2-Background

The south end of Fort Myers Beach has historically been protected from incoming waves by a prominent system of vegetated emergent shoals. Since the 1990's, these shoals, known as Little Estero Island, have been retreating rapidly. As shown in **Figure 2**, between 1995 and 2012, approximately 650 feet of shoreline has receded from the section of beach directly in front of the condominium, representing an approximate shoreline recession rate of 38 feet/year. This is also illustrated in **Figure 3** which presents a close-up of the property with the digitized shoreline positioning during that same time period. This **Figure 3** also indicates that the shoreline retreat has been consistent throughout the time period, and highlights the risk and increased vulnerability of the upland buildings in this area. To further illustrate this, historical profiles were plotted along the nearest DEP Monument at R-204, located near the north property line of Leonardo Arms Condominium. **Figure 4** shows the DEP Monument location, and **Figure 5** shows profiles collected from 1989 to 2012. These profiles show persistent recession of the emergent barrier and eventually its complete disappearance in this immediate area.

In April 2012, a small inlet connecting the Gulf of Mexico to the lagoon area behind the emergent barrier migrated north, directly in front of Building II of the Leonardo Arms. This inlet migration generated severe erosion of the upland with a steep 5 to 8 foot high escarpment a little over 20 feet away from the building's foundation. H&M was contracted by the Leonardo Arms board members to pursue an emergency permit for the placement of sandbags as a temporary measure to stop or reduce the erosion. In June 2012, tropical storm Debby generated storm surge and waves, which resulted in additional erosion north of the initial sandbag placement. **Figure 6** shows wave conditions during the tropical storm; the wave run-up and over-wash across the emergent shoal system, which contributed to its migration onshore, also transforming it into a sand spit or sand bar significantly less protective than the previous emergent barrier. **Figure 7** shows some of the damage from the storm, while a first row of sandbags was already in place. As part of a second phase, additional bags were placed in that



Figure 1. Location Map

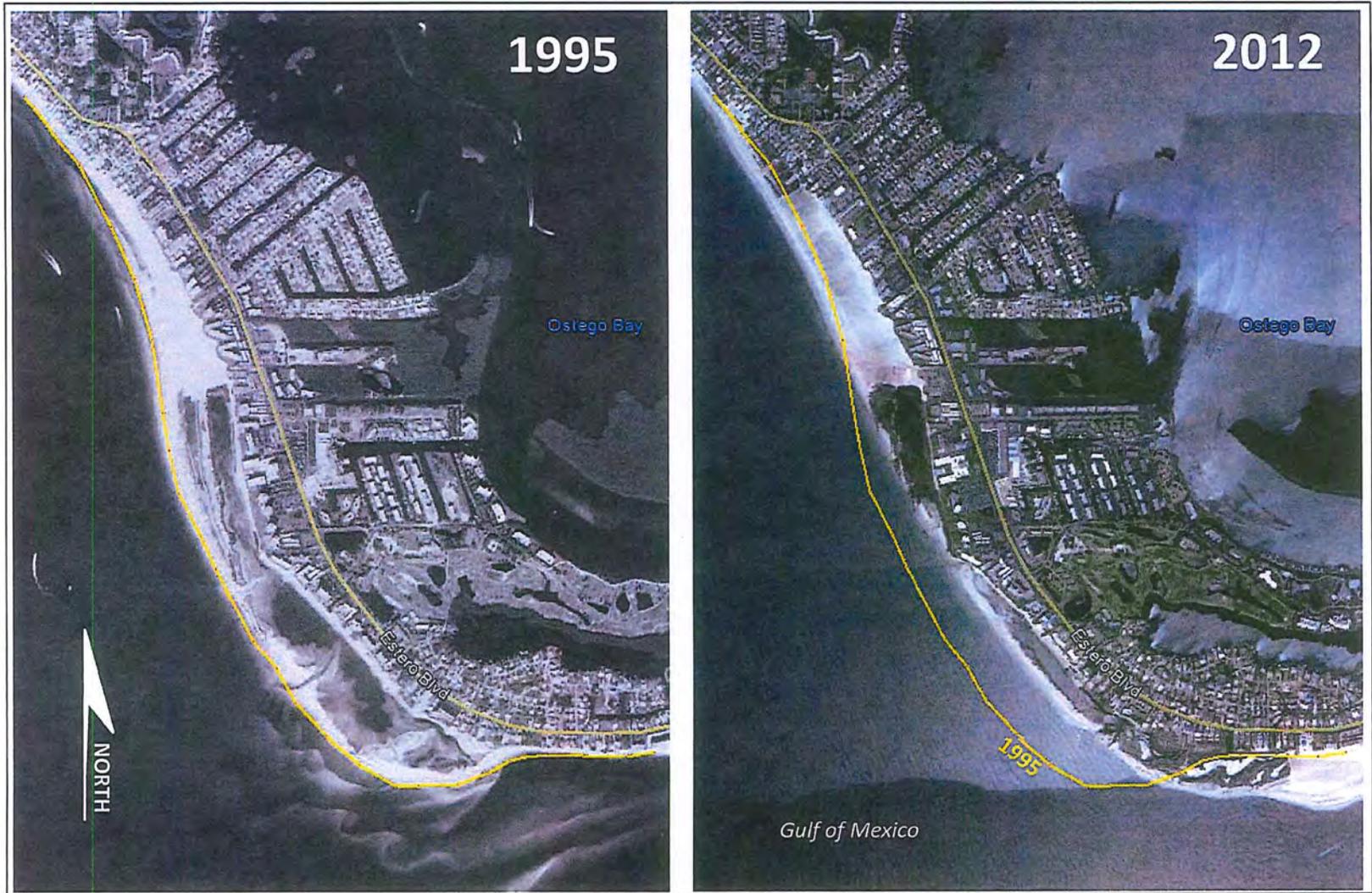


Figure 2. Fort Myers Beach , Google Aerial Photos 1995 & 2012

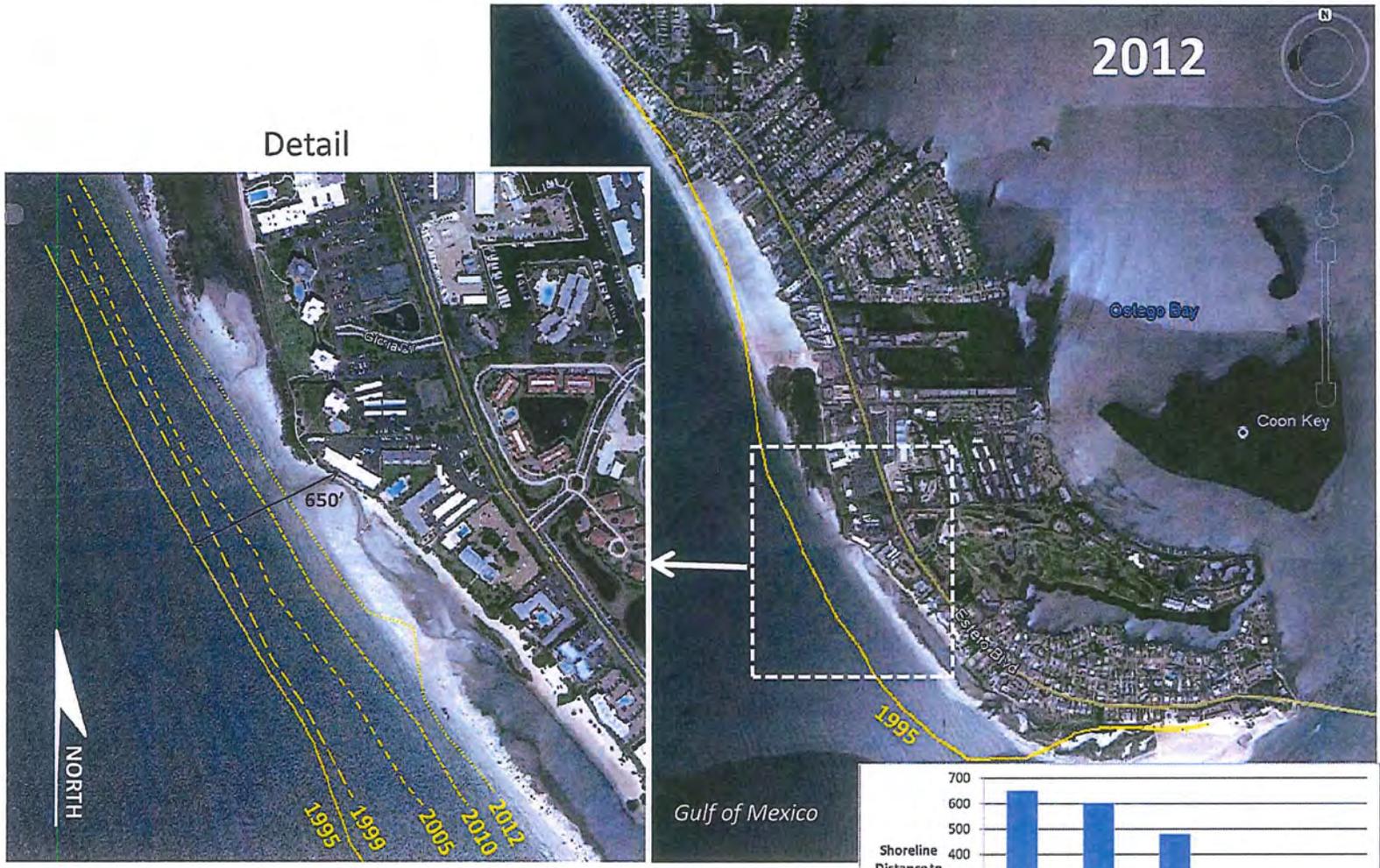
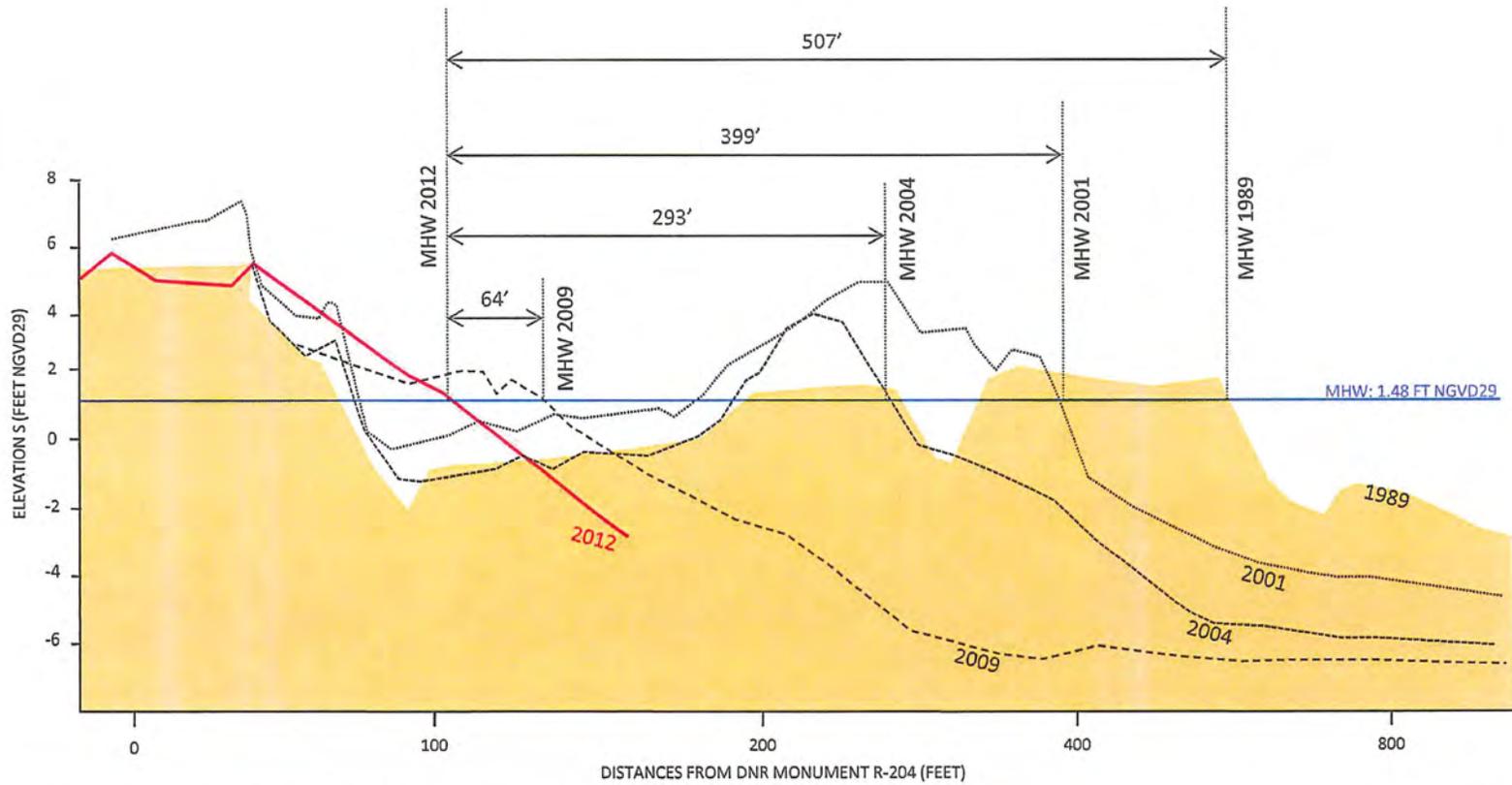


Figure 3. Shoreline Evolution at Leonardo Arms, 1995 to 2012



Figure 4. Location of DEP Monument and Profile at R-204 and LA-9 in front of Leonardo Arms Building II

DNR MONUMENT R-204, HISTORICAL PROFILES



NOTE: DISTANCES ARE APPROXIMATE, EXHIBIT FOR ILLUSTRATION PURPOSE



Figure 5: Historical Profiles from 1989 to 2012 at DNR Monument R-204

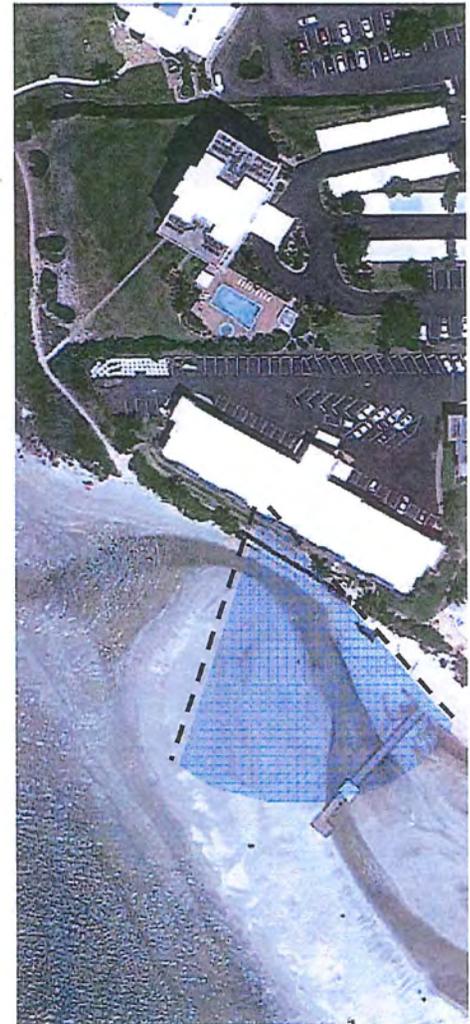


Figure 6. Leonardo Arms Photo During Tropical Storm Debby (06-2012)



Figure 7. Leonardo Arms Photo During Tropical Storm Debby (06-2012)

area to address the erosion problem. The surge from the storm contributed to move the offshore sand bar and remnant sand barrier closer to shore, also resulting in closure of the inlet opening in front of Building II.

Since the last placement of sandbags, conditions have stabilized, the beach has recovered to some extent, and the inlet has migrated back much closer to its original location to the south. The resulting beach profile shows that the offshore sand bar which also contributed to dissipating storm waves has migrated towards the shore, resulting in a broader beach as part of the limited recovery process. This is shown in **Figure 8** with an oblique aerial photograph from July 2012 and the approximate location of the MHWL. However, the low profile of the beach also means that offshore waves will be dissipated closer to shore during future storm events, resulting in potentially higher wave transmission and upland erosion. This series of events highlighted the overall vulnerability of the area to high frequency storm events, and larger storms.

The vulnerability analysis provided in this report was prepared in support of a CCCL application for a retaining wall. Based on DEP and the Town of Fort Myers Beach authorizations, the sandbags being a temporary measure, they will have to be removed within one year, regardless of the beach conditions at that time. The purpose of the proposed retaining wall will be to provide a more sustainable means of protection to Building II during high frequency storm events for the long-term.

3-Erosion Modeling for High Frequency Storm Events

Any measures taken to protect the Leonardo Condominium from storm impact through placement of dune fill and construction of a retaining wall will require construction activities seaward of the State Coastal Construction Control Line (CCCL). Such activities are regulated by the Florida Department of Environmental Protection (DEP) in accordance with Chapter 161.053, Florida Statutes, and the implementing Rule, Chapter 62B-33, Florida Administrative Code. Construction of a retaining wall places a fixed line within the dynamic beach system whereby the upland area becomes separated from the active beach. Decisions to move forward with pursuing a retaining wall became crucial when other avenues of protection such as dune enhancement became less effective resulting in potential for imminent structural damage to upland property.

In order to evaluate the option of pursuing a retaining wall, specific criteria in Chapter 62B-33, Florida Administrative Code, must be met to qualify for a Coastal Construction Control Line permit. Two important qualifying criteria up front are eligibility and vulnerability. With regard to eligibility, if an existing structure predates 1985 and was not permitted by the Florida DEP, then the structure meets the eligibility criteria. The Leonardo Arms Condominium is eligible because it was built prior to 1985. In addition, the structure must be threatened or deemed vulnerable to the impact of a 15-year return interval storm.

So as to evaluate the potential for meeting the state criteria and determine if a retaining wall can be considered for the Leonardo Condominium, Building II property, a vulnerability analysis was



Figure 8. Leonardo Arms Aerial Photo (04-2012) and Oblique (07-2012)

conducted. This analysis included numerical modeling of potential storm erosion using the DEP storm erosion model to evaluate the building's vulnerability and to satisfy the state permitting requirement for retaining wall qualification. The modeling included beach erosion from high frequency storm events. The CCCLa profile erosion model (Malakar and Dean, 1995), also referred to as the High Frequency Storm Erosion Model (HFSEM) is the erosion model that DEP uses to evaluate potential for dune erosion for high frequency storms and determination of vulnerability. High frequency storms are defined for the purposes of the model as storms having return periods less than or equal to 25 years. The model development included storm hydrographs (time series of storm surge elevation) and wave heights corresponding to high frequency return periods of 5, 10, 15 and 25 years, for 24 coastal counties in Florida.

The CCCLa dune erosion model was applied to a beach profile collected on January 28, 2013 at the Leonardo Arms Condominium, directly in front of Building II. **Figure 4** shows a plan view of the project area and the selected profile LA-9 for the dune erosion modeling presented herein. The dune and beach portion of the profile is based on an upland and wading depth survey completed on January 28, 2013, as part of the "as built survey". This means the data collected for the profile also includes the temporary sand bags. Since the bags are to be removed, the profile was adjusted to represent the stabilized profile post bag removal. Additionally, a 3 inch allowance was also included upland along the profile for damage or removal of existing grass in the area between the building and the sand bags which will be used by heavy machinery for conducting the bag removal work. The offshore part of the profile was based on a recent DEP offshore survey collected in 2009 at DNR monument R-204, both surveys were merged at MHW (+1.48 feet NGVD29). **Figure 9** shows the HFSEM model results for the selected profile at the Leonardo Arms Condominium; these indicate that Building II is vulnerable under a 15 year storm (15 year storm adjusted profile in red).

4-Conclusions

The analysis of available data and results of the storm erosion model show the vulnerability of the beach and dune system to extensive onshore and nearshore erosion under high frequency storm events. When considering:

1. The current level of vulnerability due to the amount of upland beach and dune area
2. The documented background erosion conditions since 1995,
3. The potential damage to existing building and property upland of the beach and limited dune area from high frequency storm events,
4. Concerns for human safety should erosion progress further, and
5. The absence of an on-going erosion control project

Construction of retaining walls at the present "dune line" and partially upland to remain as far landward as practical to protect upland property in conjunction with the placement of fill material with planting on the dune is the recommended plan of action. Plans prepared by Humiston & Moore Engineers meet this siting objective to provide upland protection and minimize potential impacts to the beach and dune system and potential sea turtle nesting habitat. Rock existing on site prior to the placement of the sand-filled bags in 2012, which were subsequently re-

LEONARDO ARMS, PROFILE LA-9

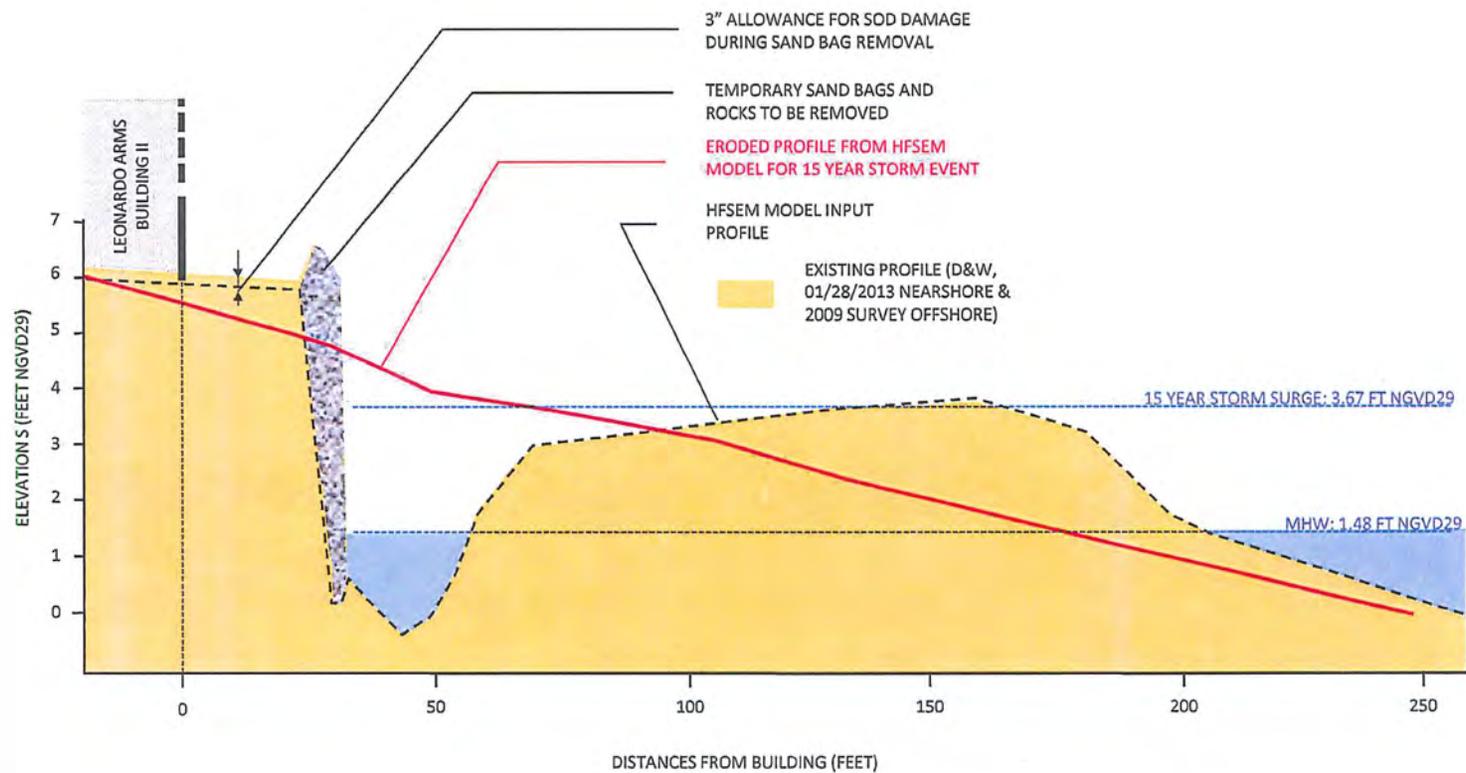


Figure 9. HFSEM Model results for a 15 year Storm Event at LA-9

positioned onto the upper portions of the profile between the bags and lawn, will be utilized again and strategically placed near the north and south wings of the project to reduce scour and wave reflection and minimize sand losses and impacts to upland at the ends of the project. The rock will also be set below +1 feet NAVD88 to avoid potential interference with sea turtle nesting.

5-References

Malakar, S. B. and Dean R.G., (1995). *Erosion Due to High Frequency Storm Events, 18 selected Coastal Counties of Florida User's Manual*, prepared for Division of Beaches and Shores, Department of Environmental Protection, Tallahassee, Florida. 23p.

Chapter 161, Florida Statutes

Chapter 62B-33, Florida Administrative Code

Dagostino & Wood, Inc., Beach Profile Data, March 2012 and January 28, 2013

DEP County-wide survey, 2009



Town of Fort Myers Beach

COMMUNITY DEVELOPMENT DEPARTMENT

APPLICATION for PUBLIC HEARING

This is a two part application. Please be sure to fill out this form, which requires general information, as well as the Supplemental Form application specific to action requested for the subject property. Please submit *one ORIGINAL paper copy, eleven (11) copies* and *one digital/electronic copy* of all required applications, supplemental information, exhibits and documents. Please do not print and copy the instructions at the end of the application.

PROJECT NUMBER: _____ DATE: August 5, 2013

Site Address: 7400 Estero Boulevard

STRAP Number: 03-47-24-W4-02100.00CE

Applicant: Humiston & Moore Engineers Phone: 239-594-2021

Contact Name: Marc Damon, P.E. Phone: 239-594-2021

Email: mdamon@humistonandmoore.com Fax: 239-594-2025

Current Zoning District: RM and EC

Future Land Use Map (FLUM) Category: Mixed Residential and Recreation

FLUM Density Range: _____ Platted Overlay: YES NO

ACTION REQUESTED

SUPPLEMENTAL FORM REQUIRED

- | | |
|---|--------------------------|
| <input checked="" type="checkbox"/> Special Exception | PH-A |
| <input type="checkbox"/> Variance | PH-B |
| <input type="checkbox"/> Conventional Rezoning | PH-C |
| <input type="checkbox"/> Planned Development <input type="checkbox"/> Commercial <input type="checkbox"/> Residential | PH-D |
| <input type="checkbox"/> Master Concept Plan Extension | PH-E |
| <input type="checkbox"/> Appeal of Administrative Action | PH-F |
| <input type="checkbox"/> Vacation of Platted Right-of-way and Easement | PH-G |
| <input type="checkbox"/> Other – cite LDC Section: _____ | attach on separate sheet |

PART I - General Information

A. Applicant*: Humiston & Moore Engineers Phone: 239-594-2021

**Applicant must submit a statement under oath that he/she is the authorized representative of the property owner. Please see PART III to complete the appropriate Affidavit form for the type of applicant.*

Applicant Mailing Address: 5679 Strand Court, Naples FL 34110

Email: mdamon@humistonandmoore.com Fax: 239-594-2025

Contact Name: Marc Damon, P.E. Phone: 239-594-2021

B. Relationship of Applicant to subject property:

- | | | |
|--|---|--|
| <input type="checkbox"/> Owner* | <input type="checkbox"/> Land Trust* | <input type="checkbox"/> Partnership* |
| <input type="checkbox"/> Corporation* | <input type="checkbox"/> Association* | <input type="checkbox"/> Condominium* |
| <input type="checkbox"/> Subdivision* | <input type="checkbox"/> Timeshare Condo* | <input type="checkbox"/> Contract Purchaser* |
| <input checked="" type="checkbox"/> Authorized Representative* | <input type="checkbox"/> Other* (please indicate) _____ | |

**Applicant must submit a statement under oath that he/she is the authorized representative of the property owner. Please see PART III to complete the appropriate Affidavit form for the type of applicant.*

C. Authorized Agent(s). Please list the name of Agent authorized to receive correspondence Agents

Name: Humiston & Moore Engineers Phone: 239-594-2021

Address: 5679 Strand Court, Naples 34110

Email: mdamon@humistonandmoore.com Fax: 239-594-2025

D. Other Agent(s). Please list the names of all Authorized Agents (attach extra sheets if necessary)

Name: _____ Phone: _____

Address: _____

Email: _____ Fax: _____

Name: _____ Phone: _____

Address: _____

Email: _____ Fax: _____

Name: _____ Phone: _____

Address: _____

Email: _____ Fax: _____

PART II – Nature of Request

Requested Action (each request requires a separate application)

- Special Exception
- Variance from LDC Section _____ - _____
- Conventional Rezoning from _____ to _____
- Planned Development
 - Rezoning from _____ to Commercial PD Residential PD
 - Amendment. List the project number: _____
 - Extension/reinstatement of Master Concept Plan. List project number: _____
- Appeal of Administrative Action
- Vacation Right-of-Way Easement
- Other. Please Explain: _____

PART III – Waivers

Please indicate any specific submittal items that have been waived by the Director for the request. Attach a copy of the signed approval as Exhibit 3-1. (Use additional sheets if necessary)

- Code Section: _____ Description: _____
- Code Section: _____ Description: _____
- Code Section: _____ Description: _____

PART IV – Property Ownership

- Single Owner (individual or husband and wife)
 - Name: _____ Phone: _____
 - Mailing Address: _____
 - Email: _____ Fax: _____

Multiple Owners (including corporation, partnership, trust, association, condominium, timeshare, or subdivision)

Complete Disclosure of Interest Form (see below)

Attach list of property owners as Exhibit 4-1

Attach map showing property owners interests as Exhibit 4-2 (for multiple parcels)

For condominiums and timeshares see Explanatory Notes Part IV (Page 11)

DISCLOSURE OF OWNERSHIP INTEREST

STRAP: 03-47-24-W4-02100.00CE

If the property is owned in fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest.

Name and Address

Percentage Ownership

SEE ATTACHED LIST of UNIT OWNERS

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each.

Name, Address and Office

Percentage of Stock

NOT APPLICABLE

_____	_____
_____	_____
_____	_____
_____	_____

If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with percentage of interest.

Name and Address

Percentage of Interest

NOT APPLICABLE

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

If the property is in the name of a GENERAL PARTNERSHIP OR LIMITED PARTNERSHIP, list the names of the general and limited partners.

Name and Address

Percentage of Ownership

NOT APPLICABLE

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

If there is a CONTRACT FOR PURCHASE, whether contingent on this application or not, and whether a Corporation, Trustee, or Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners.

Name, Address and Office

Percentage of Stock

NOT APPLICABLE

_____	_____
_____	_____
_____	_____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust.

Name	Address
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

For any changes of ownership or changes in contracts for purchase subsequent to the date of the application, but prior to the date of final certificate of compliance, a supplemental disclosure of interest must be filed.

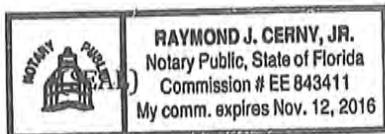
The above is a full disclosure of all parties of interest in this application, to the best of my knowledge and belief.

Pearl S. Gerken
Signature

PEARL S. GERKEN
Printed Name

STATE OF FLORIDA)
COUNTY OF LEE)

The foregoing instrument was sworn to (or affirmed) and subscribed before me on 8-8-2013 (date) by PEARL SYLVIA GERKEN (name of person providing oath or affirmation), who is personally known to me or who has produced PID (type of identification) as identification.



RLC
Signature

Raymond Cerny
Printed Name

PART V – Property Information

A. Legal Description:

STRAP: 03-47-24-W4-02100.00CE

Property Address: 7400 Estero Blvd. Condominium Unit II

Is the subject property within a platted subdivision recorded in the official Plat Books of Lee County? No. Attach a legible copy of the legal description as Exhibit 5-1.

Yes. Property identified in subdivision: _____

Book: _____ Page: _____ Unit: _____ Block: _____ Lot(s): _____

B. Boundary Survey:

Attach a Boundary Survey of the property meeting the minimum standards of Chapter 61G17-6 of the Florida Administrative Code. A Boundary Survey must bear the raised seal and original signature of a Professional Surveyor and Mapper licensed to practice Surveying and Mapping by the State of Florida. Attach and label as Exhibit 5-2.

C. Property Dimensions:

Width (please provide an average width if irregular in shape) 400 _____ feet

Depth (please provide an average width if irregular in shape) 250 _____ feet

Frontage on street: 0 _____ feet. Frontage on waterbody: 400 _____ feet

Total land area: 2.466 +/- _____ acres square feet

D. General Location of Subject Property (from Sky Bridge or Big Carlos Pass Bridge):

Leonardo Arms 7400 Estero Blvd., Fort Myers Beach

Head Northwest on Estero Blvd. toward Bay Beach Lane

Turn Right onto Ohio Avenue – Big Carlos Draw Bridge will be on the left

Attach Area Location Map as Exhibit 5-3

E. Property Restrictions (check applicable):

There are no deed restrictions and/or covenants on the subject property.

A list of deed restrictions and/or covenants affecting the subject property is attached as Exhibit 5-4.

A narrative statement detailing how the restrictions/covenants may or may not affect the request is attached as Exhibit 5-5.

F. Surrounding Property Owners (these items can be obtained from the Lee County Property Appraiser):

- Attach a list of surrounding property owners within 500 feet as Exhibit 5-6.
- Attach a map showing the surrounding property owners as Exhibit 5-7.
- Provide Staff with two (2) sets of surrounding property owner mailing labels.

G. Future Land Use Category (see Future Land Use Map):

- | | |
|---|--|
| <input type="checkbox"/> Low Density | <input type="checkbox"/> Marina |
| <input checked="" type="checkbox"/> Mixed Residential | <input checked="" type="checkbox"/> Recreation |
| <input type="checkbox"/> Boulevard | <input type="checkbox"/> Wetlands |
| <input type="checkbox"/> Pedestrian Commercial | <input type="checkbox"/> Platted Overlay |

H. Zoning (see official Zoning Map):

- | | |
|--|--|
| <input type="checkbox"/> RS (Residential Single-family) | <input type="checkbox"/> CF (Community Facilities) |
| <input type="checkbox"/> RC (Residential Conservation) | <input type="checkbox"/> IN (Institutional) |
| <input checked="" type="checkbox"/> RM (Residential Multifamily) | <input type="checkbox"/> BB (Bay Beach) |
| <input type="checkbox"/> RPD (Residential Planned Development) | <input checked="" type="checkbox"/> EC (Environmentally) |
| <input type="checkbox"/> Critical) CM (Commercial Marine) | <input type="checkbox"/> DOWNTOWN |
| <input type="checkbox"/> CO (Commercial Office) | <input type="checkbox"/> SANTOS |
| <input type="checkbox"/> CB (Commercial Boulevard) | <input type="checkbox"/> VILLAGE |
| <input type="checkbox"/> CR (Commercial Resort) | <input type="checkbox"/> SANTINI |
| <input type="checkbox"/> CPD (Commercial Planned Development) | |

I, PEARL S GERKEN (name), as Board President Unit II (title)

of Leonardo Arms Beach Club Condominium Association Unit II, swear under oath, as owner of the Leonardo Arms Beach Club Condominium Association Unit II, that

I have full authority to appoint Humiston & Moore Engineers to act as Applicant and Agent on behalf of Leonardo Arms Beach Club Condominium Association Unit II for the Application for Public hearing(s) for the Special Exception Application and all related matters pertaining to the application with the Town of Fort Myers Beach.

PEARL S. GERKEN
Name

Board President
Title

Pearl S. Gerken
Signature

8-8-13
Date

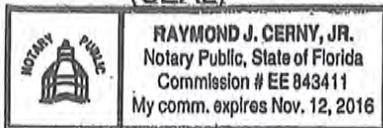
STATE OF FLORIDA
COUNTY OF COLLIER

The foregoing instrument was sworn to (or affirmed) and subscribed before me on 8-8-13 (date) by PEARL SYLVIA GERKEN (name of person providing oath or affirmation), who is personally known to me or who has produced FLDL (type of identification) as identification.

[Signature]
Signature

Raymond J Cerny Jr
Printed Name

(SEAL)



PART VI

AFFIDAVIT

APPLICATION IS SIGNED BY AN INDIVIDUAL OWNER OR APPLICANT

I, Brett D. Moore, swear or affirm under oath, that I am ~~the owner~~ of the authorized representative of the owner(s) of the property and that:

I have full authority to secure the approval(s) requested and to impose covenants and restrictions on the referenced property as a result of any action approved by the Town of Fort Myers Beach in accordance with this application and the Land Development Code;

All answers to the questions in this application and any sketches, data or other supplementary matter attached hereto and made a part of this application are honest and true;

I have authorized the staff of the Town of Fort Myers Beach Community Development to enter upon the property during normal working hours for the purpose of investigating and evaluating the request made thru this application; and that

The property will not be transferred, conveyed, sold or subdivided unencumbered by the conditions and restrictions imposed by the approved action.

[Handwritten Signature]
Signature of owner or authorized agent

9-3-2013
Date

STATE OF FLORIDA)
COUNTY OF LEE)

The foregoing instrument was sworn to (or affirmed) and subscribed before me on 9-3-2013 (date) by Brett D. Moore, P.E. as President of Humiston & Moore Engineers, (name of person providing oath or affirmation), who is personally known to me



Celia M. Fellows
Signature
Celia M. Fellows
Printed Name

Exhibit 4-1

LEONARDO ARMS. UNIT II—OWNERS LIST 2013

UNIT	NAME & ADDRESS	PHONE E-MAIL
123	John & Sandie Guerrero 7400 Estero Blvd Apt 123 Fort Myers Beach,FL 33931	239-768-7316 wings2@comcast.net 239-765-7469
124	Gene & Deborah Duffy 10552 Aldina Dr. Conneaut Lake. Pa 16316	814-720-2801 efduffy@hotmail.com
125	Johan & Darlene Van Beek 166 Old Orchard Road Burlington,ON.Canada L7T2G1	905-632-6494 239-463-2569 dvanbeek12@cogeco.ca
126	Ray & Dorothy Laverdiere 2312 Edinburgh Drive Virginia Beach, VA 23452	757-486-5720 239-463-6008 rglaverdiere@cavtel.net
127	Ms. Michelle Celenza 1904 Philadelphia Ave North Cambria, PA 15714	814-948-9805 goldie127@comcast.net 239-463-9238
128	Charles & Cheryl Bowers P.O.Box 153 Magadore, OH 44260	330-628-3637 cbowers1800@yahoo.com 239-463-4632
129	Daniel Thompson 4075 Clare Bridge Lane Brookfield, WI 53005	jthompson@butitta.com
130	Linda Taylor 1400 Northwind Road Louisville, KY 40207	502-897-3848 502-558-6689 bunny.taylor@insightbb.com 239-463-2404
131	David Duchaine PO Box 1825 Mattapoissett, MA 02739	774-263-2669 davidduchaine@comcast.net
132	Richard & Laurie Magley 1514 South Hadley Road Ft. Wayne, IN 46804	260-415-7373 lauriestewart123@msn.com

223	Philip & Connie Kassewitz 26 Sandstone Ct. LeClaire, IA 52753	563-332-1423 philip_kassewitz@ml.com
224	David & Janet Holden 28 Barn Hill Lane Chatham, MA 02633	860-651-9100 dpholden@comcast.net 239-463-0765
225	Janet Lee 32235 Lee Drive 239- 233-8585 Gravois Mills ,MO 65037	573-216-1412 jleeretired@earthlink.net
226	Eugene Stack 142 N. Western Ave. Lake Forest, IL 60045	847-234-3073 e.stack@sbcglobal.net 239-463-0597
227	Allen & Donna Rucker 33 Dodge Hill Rd. Sutton Hill, MA 01590	239-463-5319 allen_eruc@yahoo.com 508-865-4599
228	Marlene Polerecky 21221 Walnut Dr. # C Plainfield, IL 60544	708-932-0387 mjpolerecky@comcast.net 815-886-0196
229	Michael S Podkowa 964 Ridge Rd. Hinckley, OH 44233	440-263- 6686 msp07@roadrunner.com
230	Kay Fillman 310-200 Everglade Cres. London, ON Canada N6H 4P8	519-657-4006 kayfillman@hotmail.com 239-463-4720
231	Ron & Peggy Maynard 326 Glenbrook Drive Midland, ON Canada L4R 5G4	705-526-8123 pegron@rogers.com 239-425-0797
232	Gordon & Cathy Currie 3248 Devonshire Rd. R.R.#1 Camlachie, ON Canada NON 1E0	519-869-2321 gordcurrie@sympatico.ca 239-463-6698
323	Mary Louise McCabe 101 Cardinal Dr. Belleville, IL 62221	618-235-3067 239-756-5023
324	Tom Blaser	612-845-2131 cell. tbvision@aol.com

	13617 Glasgow Lane Apple Valley, MN. 55124	952-431-7419
325	Graham & Anne Heyes Broadland, Ringwood Rd. Three Legged Cross Wimborne, Dorset BH216E, England	239-314-0480 anneheys@aol.com
326	David Hinterschied 7400 Estero Blvd # 326 Fort Myers Beach, FL 33931	239-463-1823 dmhint@gmail.com
327	Laura Caudill 21983 Knudsen Grosse Ile, MI 48138	734-671-3456 lauracaudill@hotmail.com 239-463-3074
328	Michael & Alice Hinterschied 361 Chastain Manor Dr Norcross, GA 30071	770-416-6940 michael@cabledepot.com 239-463-4454
329	Rene & Cathleen Van Someren 5922 N. Mulligan Chicago, IL 60646	773-763-7335 mvsomeren@sbcglobal.net 239-765-5152
330	John Chedoke Toby Chedoke 586 Leonard Ct Burlington, Ont, Canada L7T 2P5	chedoke@hotmail.com
331	Gary & Marilyn Corneglio 405 N. East St Gardner, IL 60424	815-237-8253 marilyncorneglio@yahoo.com 239-463-6392
332	Timothy & Robynn Tayon 12267 Colliers Reserve Dr. Naples, FL 34110	239-463-1583 239-596-3001
423	Mary Louise Mc Cabe 101 Cardinal Drive Belleville, IL 62221	618-235-3067 239-765-5023 - 239-514-0331
424	Mary Louise Mc Cabe 1022 Barcarmil Way Naples, FL 34110	618-235-3067 239-765-5023
425	Jon & Ivy Raths 1950 Ivy Lane White Bear Lake, MN 55110	651-777-8722 ivyaths@comcast.net 239-463-6495

425	Dale Spoolhoff	612-824-4747
426	Martha Chattin 4825 Cavendish Road Indianapolis, IN 46220	317-251-8366 239-463-0680 mjcat@msn.com
427	Richard & Judy Speicher 8135 Lake Shore Blvd Mentor, OH 44060	440-257-4566 239-463-3977 jlewispeicher@yahoo.com
428	Marcel & Marge Dewitte 131 Cherry Lane Algonac, MI 48001	810-794-9091 239-463-9398 mimimarge428@yahoo.com
429	Kevin & Susan Kilgallon 78 Cambridge Dr. Glenmont, NY 12077	518-475-7816 s.kilgallon@hvcc.edu 239-463-2850
430	Kevin Wolfe 5930 Dodds Dr Bettendorf, IA 52722	563-676-7805 kwolfe@onlinefreight.com
431	Oscar & Barbara Jobs 435 Village St. Bristol, CT 06010	860-584-2826 239-765-0914 oscarbarbara@att.net
432	Richard & Judy Russell 6735 Swissway Drive Dayton, OH 45459	937-938-7307 239-218-0434 airbonanza1@sbcglobal.net
523	Vito & Fran Scarimbolo 128 Spring Ave Glen Ellyn, IL 60137	630-469-8301
524	James H Steele & Larry Sweeney 170 Tarpon Rd. Fort Myers Beach, FL 33931	239-463-9192 239-463-5322 stainlesso@aol.com
525	Michael Albanese 3112 Brandon Rd. Columbus, OH 43221	614-488-7841 239-463-8877

526	Peter Hall 455 Old Hollow Rd Sperryville , VA 22740	540-987-3316 239-463-2930 perrie@metamet.com
526	Michael Hall 903 Sanford Rd. Burlington, ON Canada L7T3G5	905-639-4930 hall_m@sympatico.ca
526	Gertrude Hall 1270 Maple Crossing Blvd. Burlington, ON Canada L7S2J3	905-634-5117 ismahall@sympatico.ca
527	Janice Anderson 5111 Hampden Lane Bethesda, MD 20814	202-246-9499 Janice.anderson46@gmail.com
528	Dennis Norberg 1515 Black Rock Tpk. Fairfield , CT 06825	dennisnorberg@aol.com
529	Dr. Robert Anderson 20540 Falcon Landing Circle #4105 Potomac Falls, VA 20165	352-666-1463 239-463-0609 sanbobfla@aol.com
530	Carol Loomis 229 Campbell Court Geneva, IL 60134	630-232-2331 239-463-4667 carolloomis@me.com
531	James O' Hern P.O.Box 627 Kimball, MN 55353	320-398-2923 239-765-1507
532	Ellen Minch 104 Country Lane Westbrook, ME 04092	239-765-1690 ejminch@aol.com 207-591-5140
623	Ella Beattie 4220 Chaucer Lane Columbus, OH 43220	614-459-9222 239-463-0813
624	Gerald & Joan Ogren 9811 S. 64th St. Lincoln, NE 68516	402-421-1439 jerry1953@windstream.net 402-304-3158 (cell) joanmarie@windstream.net
625	Dr. Ray Snapp 1819 16th Street	812-279-3456 239-463-4501 kerrsnap@aol.com

626	Bedford, IN 47421 Spellman Cramer Joint Venture 245 McCelandtown Road Uniontown, PA 15401	724-437-6842 tcrev210@aol.com 239-463-2591
627	Don & Barbara Prow 2033 Glendale Hills Dr. N.E. Rochester, MN 55906	507-288-6238 239-463-6381 barbprow@charter.net
628	Edmund & Joyce Hein 810 East River Drive Omro, WI 54963	920-685-2000 239-463-7990 ej7990@aol.com
629	John & Pearl Gerken 7400 Estero Blvd. # 629 Fort Myers Beach, FL 33931	239-463-5234 gerkenjp@yahoo.com
630	William & Donna Langan 1 Belmont Rd. Unit 542 West Harwich, MA 02761	508-380-1966 (Cell) 774-408-7760 (Home) donnalangan@comcast.net
631	Oscar & Barbara Jobs 435 Village St. Bristol, CT 06010	860-584-2826 oscarbarbara@att.net
632	Richard & Judy Russell 6735 Swissway Drive Dayton, OH 45459	937-938-7307 239-463-3702 airbonanza1@sbcglobal.net



Dagostino & Wood, Inc.

Exhibit 5-1

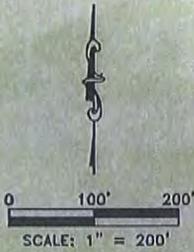
LEONARDO ARMS BEACH CLUB CONDOMINIUM UNIT II, AS PER THE RECORD PLAT THEREOF RECORDED IN CONDOMINIUM BOOK 1, PAGE 243, AS REFERENCED BY THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 603, PAGE 862 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA; SAID CONDOMINIUM BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS ON SAID RECORD PLAT:

A TRACT OR PARCEL OF LAND LYING IN GOVERNMENT LOT 3, SECTION 3, TOWNSHIP 47 SOUTH, RANGE 24 EAST, ESTERO ISLAND, LEE COUNTY, FLORIDA, WHICH TRACT OR PARCEL IS DESCRIBED AS FOLLOWS:

FROM THE MOST SOUTHERLY CORNER OF BLOCK 3A OF UNIT NO. 1 OF LAGUNA SHORES, ACCORDING TO A PLAT RECORDED IN PLAT BOOK 9, AT PAGES 29 & 30 OF THE PUBLIC RECORDS OF LEE COUNTY FLORIDA, RUN S 48°23'00" W ALONG A PROLONGATION OF THE NORTHWESTERLY LINE OF PARK PLACE (NOW PART OF BUCCANEER DRIVE) AS SHOWN ON SAID PLAT FOR 70.02 FEET TO A POINT ON THE FORMERLY SOUTHWESTERLY LINE OF ESTERO BOULEVARD AS DESCRIBED IN COUNTY COMMISSIONER'S MINUTE BOOK 11 AT PAGE 97 OF SAID PUBLIC RECORDS; THENCE RUN NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE, ALONG THE ARC OF A CURVE TO THE RIGHT OF RADIUS 2899.79 FEET FOR 147.39 FEET TO A POINT OF TANGENCY; THENCE RUN N 37°43'00" W ALONG SAID SOUTHWESTERLY LINE FOR 944.00 TO A POINT OF CURVATURE; THENCE RUN NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE, ALONG THE ARC OF A CURVE TO THE RIGHT OF RADIUS 2326.83 FEET FOR 283.68 FEET; THENCE RUN S 42°17'00" W FOR 7.46 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF STATE ROAD NO. S-865 (40' FROM CENTERLINE); THENCE RUN NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE OF SAID STATE ROAD, ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2331.83 FEET (CHORD BEARING N 28°39'47" W FOR 180.72 FEET TO A CHANGE IN RIGHT-OF-WAY; THENCE S 63°33'26" W ALONG SAID RIGHT-OF-WAY FOR 5.0 FEET; THENCE S 72°11'08" W FOR 295.26 FEET; THENCE S 52°17' W FOR 93.95 FEET TO THE POINT OF BEGINNING; THENCE N 37°43' W 55.31 FEET; THENCE N 0°49' W FOR 165.16 FEET TO AN INTERSECTION WITH A LINE PARALLEL WITH AND 30.0 FEET (AS MEASURED PERPENDICULAR) SOUTHERLY FROM THE NORTH LINE OF GOVERNMENT LOT 3; THENCE S 89°11' 00" W, ALONG SAID PARALLEL LINE, FOR 460 FEET MORE OR LESS TO THE WATERS OF THE GULF OF MEXICO; THENCE SOUTHEASTERLY ALONG SAID WATERS FOR 480 FEET MORE OR LESS TO AN INTERSECTION WITH A LINE BEARING S 52°17'00" W PASSING THROUGH THE POINT OF BEGINNING; THENCE NORTH 52°17'00" EAST ALONG SAID LINE FOR 121 FEET MORE OR LESS TO THE POINT OF BEGINNING. BEARINGS HEREINABOVE MENTIONED ARE PLANE COORDINATES FOR THE FLORIDA WEST ZONE. SUBJECT TO A DRAINAGE AND WALKWAY EASEMENT OVER THE SOUTHERLY 10 FEET OF THE NORTHERLY 35 FEET OF SAID PARCEL. INCLUDING RIGHT OF INGRESS AND EGRESS OVER AND ACROSS THE SOUTHERLY 20 FEET OF THE NORTHERLY 340 FEET OF THAT PORTION OF GOVERNMENT LOT 3 LYING WEST OF SAID STATE ROAD NO. S-865.



GULF OF MEXICO



DATE OF PHOTOGRAPH: FEB/MAR 2012.
 PHOTOGRAPH PROPERTY OF LEE COUNTY.
 EXHIBIT IS FOR ILLUSTRATIVE PURPOSES ONLY.



**HUMISTON
 & MOORE
 ENGINEERS**
 COASTAL
 ENGINEERING DESIGN
 AND PERMITTING

LEONARDO ARMS CONDOMINIUM
 LOCATION MAP

FOR: LEONARDO ARMS CONDOMINIUM ASSOCIATION
 DATE: 7/24/13 FILE: 500-FT-RA SCALE: 1"=200'
 JOB: 22-010 DATUM: NONE FIGURE: 1

5679 STRAND COURT
 NAPLES, FL 34110
 FAX: (239) 594-2025
 PHONE: (239) 594-2021
 www.humistonandmoore.com

59.00
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5-19-63

CONDOMINIUM DECLARATION

OF

LEONARDO ARMS BEACH CLUB CONDOMINIUM UNIT II
FORT MYERS BEACH, FLORIDA

THIS CONDOMINIUM DECLARATION made and executed this 3rd day of June, 1970, by LEONARDO ARMS, INC., a Florida corporation, hereinafter called the Developer, for itself, its successors, grantees and assigns, and the said Developer does submit the condominium property as hereinafter defined and described to condominium ownership upon the terms and conditions hereinafter set forth:

DEFINITION OF TERMS USED IN CONDOMINIUM DECLARATION. As used herein or elsewhere in the condominium documents, unless otherwise provided, the terms used shall be defined as herein provided:

- a. Assessment. Assessment means a share of the funds required for the payment of common expenses which from time to time are assessed against the unit owner.
- b. Association. Association shall mean Leonardo Arms Beach Club Condominium Association, Unit II, which shall be responsible for the operation of the condominium as may be otherwise herein provided.
- c. Common Element. Common element shall include the tangible or intangible personal property required for the maintenance and operation of the condominium together with all other elements as designated in the Florida Condominium Act, and all other elements necessary for the common maintenance, safety and welfare of the condominium owners.
- d. Common Expense. Common expenses means those expenses for which unit owners are liable to the Association, including but not limited to expenses of administration, maintenance and operation, repair and replacement of common elements and such other expenses as

-1-

This instrument was prepared by ✓
 John W. Sheppard
 1412 Jackson Street
 Fort Myers, Florida

may be declared common expenses either by this declaration or by the manager or the Association.

e. Common Surplus. Common surplus means the excess of all receipts of the Association including but not limited to assessments, rents, profits and revenues on account of the common elements, over the amount of the common expenses.

f. Condominium Property. Condominium property means and includes the land in a condominium, whether or not contiguous, and all improvements thereon and all easements and rights appurtenant thereto intended for use in connection with the condominium.

g. Apartment Owner. Apartment Owner or owner of the apartment means owner of a condominium parcel or apartment in fee simple or any other estate in real property recognized by law.

h. Condominium Documents. Condominium documents shall include this declaration together with By-Laws attached hereto as "Exhibit A", Surveyor's Plat which is attached hereto as "Exhibit B" and herein referred to as Surveyor's Plat, Rules and Regulations of Leonardo Arms Beach Club Condominium Association, Unit II which are attached hereto as "Exhibit C", and form of Warranty Deed attached hereto as "Exhibit D".

1. STATEMENT OF CONDOMINIUM SUBMISSION. Leonardo Arms, Inc. herewith submits the following described property to condominium ownership in accordance with Chapter 711, Florida Statutes, 1967, situate in Lee County, Florida, described as follows, to-wit:

All of lands described in Attachment No. 1 attached hereto and made a part hereof by reference.

2. CONDOMINIUM NAME. The name by which this condominium is to be identified shall be "Leonardo Arms Beach Club Condominium Unit II".

3. APARTMENT IDENTIFICATION. The identification of each apartment shall be by number, and the same shall be as indicated on the Surveyor's Plat which is attached hereto as "Exhibit B" and made

a part of this condominium declaration by reference, and hereinafter called Surveyor's Plat.

4. SURVEY AND GRAPHIC DESCRIPTION. A survey of the land submitted herewith to condominium ownership and a graphic description of the improvements in which the apartment units are located and a plot plan thereof indicating therein each such unit, the common elements and their respective locations and the approximate dimensions of each such unit are attached hereto as said Surveyor's Plat.

5. OWNERSHIP OF COMMON ELEMENTS. The ownership of common elements as may be herein described, and as the same are designated to each unit in a portion of this declaration of condominium are the percentage of ownership allocated to each apartment unit on the Surveyor's Plat attached hereto. The Developer declared for Condominium use that certain property as more particularly described in the declaration of condominium recorded in Official Record Book 520, pages 725 through 771, Public Records of Lee County, Florida, as amended in Official Record Book 520, pages 708 through 716, both included in Public Records of Lee County, Florida.

Pursuant to paragraph 5 of said declaration the developer herein reserved the right to grant to other condominium unit owners, not included in that Declaration, but comprising a part of a common developmental scheme on adjoining properties, the usage of common elements reflected for recreational purposes on said Declaration.

The Developer does by this Declaration exercise this reserved right and does herewith grant to each condominium unit owner herein the non-exclusive usage in common with others the recreational facilities designated in Leonardo Arms Unit I Plot Plan including but not limited to the pool and adjunct facilities, putting green "Two Story Building", and pier together with access to said facilities,

subject to the requirement that such owners shall bear a proportionate percentage of the common expense attributable to such common elements. The grant herein made shall be non-exclusive and the Developer further reserves the right to grant comparable usage, subject to the conditions herein stated, to Condominium Unit owners of proposed Leonardo Arms Unit III, if such shall be declared for condominium use.

6. VOTING RIGHTS, SHARING OF COMMON EXPENSES AND COMMON SURPLUS. The voting rights of the owner of each apartment unit shall be the same as the percentage of ownership as designated on the Surveyor's Plat attached hereto. The sharing of common expenses and ownership of common surplus shall likewise be on the same apartment unit basis with the said sharing and ownership.

7. BY-LAWS. The By-Laws of the Association shall be the original By-Laws of the Association which are attached hereto as "Exhibit A." and made a part of this declaration by reference. Said By-Laws may be amended in the manner as may be provided in them.

8. APARTMENT OWNERSHIP. An apartment or unit shall be a portion of the apartment building proper, including one (1) or more rooms and enclosed places which are separately described on Surveyor's Plat attached hereto as an apartment and bearing a number or letter designation. The apartment shall be considered a separate parcel of real property, together with the space within it as shown on the Surveyor's Plat together with all appurtenances thereto, and which may be owned in fee simple or in any other estate in real property recognized by law.

The boundaries of each apartment shall be as follows:

a. Horizontal Boundaries. The upper and lower boundaries of the apartment shall be:

I. Upper Boundaries:

A. Apartments other than Ground Floor Apartments.

The plane of the under surfaces of the ceiling joists and the chords

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of the roof trusses which serve as ceiling joists.

B. Ground Floor Apartments. The plane of the under surfaces of the concrete floor slabs, abutting the upper apartment.

II. Lower Boundaries:

A. Apartments other than Ground Floor Apartments.
The plane of the under surfaces of the concrete floor slabs, abutting the upper apartment.

B. Ground Floor Apartments. The under surface of the concrete floor slab.

b. Vertical Boundaries. The vertical boundaries of the apartment shall be:

I. Exterior Boundaries: The exterior of the outside walls of the apartment building except where there is attached to or in existence as a part of the building a balcony, terrace, canopy, or other portion of the building serving only the apartment being bounded, in which event the boundaries shall be such as will include all such structures.

II. Between apartments: The plane formed by the center line of the wall between the apartments.

III. Between apartments and central corridors or between apartments and other common use areas. The plane formed by the exterior of the apartment wall between the apartment and said corridors or common use areas.

Exclusive Use: Each apartment owner shall have the exclusive use of his apartment.

Appurtenances: The ownership of each apartment shall include, and there shall pass with each apartment as appurtenances thereto whether or not separately described, all of the rights, title and interest include but not be limited to:

a. Common Elements. An undivided share of the common elements, such undivided share to be that portion set forth in "Exhibit B", Surveyor's Plat.

b. Automobile Parking Space.

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(For private passenger automobile only) assigned to the apartment and the exclusive right to use the same.

c. Easements. For the benefit of the apartment.

d. Association Membership and interests in funds and assets held by the Association.

e. Provided, however, that such appurtenances shall be subject to the easements for the benefit of other apartments and the Association.

Easement to Air Space: The appurtenances shall include an exclusive easement for the use of the air occupied by the apartment as it exists at any particular time and as the apartment may be altered or reconstructed from time to time, which easement shall be terminated automatically in any air space which is vacated from time to time.

Cross Easements: The appurtenances shall include the following easements from each apartment owner to each other apartment owner and to the Association:

a. Ingress and Egress. Easements through the common areas for ingress and egress.

b. Maintenance, Repair and Replacement. Easements through the apartments and common elements for maintenance, repair and replacement of the apartments and common elements. Such access to the apartments shall be only during reasonable hours except that access may be had at any time in case of emergency.

c. Support. Every portion of an apartment contributing to the support of the apartment building shall be burdened with an easement of support for the benefit of all other apartments and common elements in the building.

d. Utilities. Easements through the apartments and other common areas for conduits, ducts, plumbing, wiring and other facilities for the furnishing of utility services to other apartments and the common elements; provided, however, that such easements through an apartment shall be only according to the plans and

specifications for the apartment building or as the building is constructed unless approved in writing by the apartment owner.

9. MAINTENANCE RESPONSIBILITY. The owner of an apartment shall have the responsibility to maintain, repair and replace all matters and things relating to the interior of the premises owned by him and shall keep said premises in such manner as to cause no damage or nuisance to other apartment owners in the building and shall specifically refrain from making any changes in appearance or otherwise to the exterior of the apartment. The Association shall be responsible for the maintenance, repair and improvement of the common elements in the manner and method as may be herein set forth or as may be set by the By-Laws of the Association.

10. ASSESSMENT. Assessments against owners shall be made by the Board of Administration of the Association, and shall be borne by the apartment owners on a pro rata basis, and on the same basis as their percentage of ownership of the entire condominium as the same exists at the time of said assessment.

11. ADMINISTRATION AND MANAGEMENT OF CONDOMINIUM. The administration and management of the condominium apartment and of the common elements and the providing of utilities as may be designated shall be by the Condominium Association, who shall have by and through its officers and administrators, such powers, authority and responsibilities as are vested in the officers and directors of a corporation not for profit under the Laws of the State of Florida, and provided for in the By-Laws which are attached hereto as "Exhibit A". Until such time as the Condominium Association shall be activated, the Developer may conduct the administration and management and shall have all of the powers, authorities, and exemptions herein granted to the Association.

12. INSURANCE. Insurance upon the common elements and the entire condominium improvements, exclusive of tangible personal

property of unit owners or improvements placed within the condominium units by the owners thereof, including fire, wind and extended coverage, shall be maintained by the Association, or the Developer in the event the Association shall not have been activated, in an amount not less than their full insurable value for Leonardo Arms Beach Club Condominium Unit II. As herein provided, Association shall mean the Developer in the event the Association shall not have been activated. Said insurance shall be purchased for the benefit of the apartment owners and their respective mortgagees, grantees, assignees and others claiming interest, as their interest may appear. The Association shall maintain public liability insurance as the same relates to the common elements in an amount not less than One Hundred Thousand (\$100,000.00) Dollars per person and Three Hundred Thousand (\$300,000.00) Dollars per accident. The responsibility for maintaining insurance for personal property and personal liability, public liability as the same relates to the interior of the respective apartments shall be that of the apartment owner. In the event of loss by fire or other casualty, covering property other than that which the individual apartment owner is responsible for, the proceeds of any such insurance shall be paid to The First National Bank in Fort Myers, Fort Myers, Florida, as Insurance Trustee or such other bank or Trustee as may be designated by the Association. In the event of partial destruction of the common elements or improvements insured by the Association, the premises shall be reconstructed or repaired, unless the members of the Association shall, at a meeting called for such purpose, determine that such reconstruction shall not be completed and the action shall be approved by all financing institution mortgage or lienholders holding outstanding liens against condominium units. In the event of total destruction, the same shall not be reconstructed or repaired unless at a meeting of the Association

called within 120 days after such occurrence or casualty, the owners of more than 7% of the condominium unit owners shall vote in favor of such reconstruction or repair. The Insurance Trustee may rely upon a certificate of the Association through one of its Executive Officers to determine whether or not damaged property is to be reconstructed or repaired. The portion of insurance proceeds representing damage for which the responsibility of reconstruction and repair lies with an apartment owner shall be paid by the Insurance Trustee to the apartment owner, or if there is a mortgagee endorsement as to such apartment, then to the apartment owner and the mortgagee jointly, who may use such proceeds as they may be advised.

If the proceeds of insurance are not sufficient to defray the estimated costs of reconstruction and repair by the Association, or if at any time during the reconstruction and repair, or upon completion of reconstruction and repair, the funds for the payment of the costs thereof are insufficient, assessments shall be made against the apartment owners who own the damaged apartments, and against all apartment owners in the case of damage to common elements, in sufficient amounts to provide funds for the payment of such costs. Such assessments against apartment owners for damage to apartments shall be in proportion to the cost of reconstruction and repair of their respective apartments. Such assessments on account of damage to common elements shall be in proportion to the owner's share in the common elements and shall be payable to the Insurance Trustee for disbursement.

13. AMENDMENT OF AND ADDITION TO CONDOMINIUM DECLARATION BY DEVELOPER. The Developer, so long as it owns more than one (1) condominium unit, reserves the right at any time to amend the declaration, as may be required by any lending institution or public body, or in such manner as the Developer may determine to be necessary to carry out the purposes of the Development provided that such amendment shall not increase the proportion of common expenses

603 144 571

borne by the condominium owners.

14. CONDOMINIUM ASSOCIATION. There is hereby established the condominium association. The members shall be comprised of all owners of apartments and membership in the Association shall be established by recordation in the Public Records of Lee County, Florida, a deed in fee title or other estate of ownership in land to the respective apartments. Upon such recordation, the membership of prior owners as to such apartment shall be terminated. In the event the administration, management and control of the apartments and common elements shall be vested in it by Chapter 711 of the Florida Statutes, 1967 (Condominium Act) and such authority and powers as granted to a corporation not for profit under the laws of the State of Florida and such other powers as may be otherwise granted by law. The Association shall be governed by the By-Laws as are attached hereto and marked as "Exhibit A", or as the same may be subsequently amended. The resident agent of the Association for service of process shall be Richard Berguin, a resident of the State of Florida, and whose address is 7709 Lauder, Fort Myers Beach, Florida, until his successor shall be designated by the Association.

15. USE RESTRICTIONS AND LIMITATIONS UPON SALE AND OWNERSHIP OF APARTMENTS. Use of the property herein submitted for condominium ownership shall be in accordance with the following use restrictions and reservations:

a. Single family residence. A condominium unit shall be used only for single family residence and the common elements shall be used for the purpose of furnishing of services and facilities as herein provided for the welfare and enjoyment of such residence.

b. Nuisance. The condominium apartments shall not be used for any immoral, improper or unlawful purpose and no use shall be allowed which will create a public or private nuisance. All property shall be kept in a neat and orderly manner.

c. Leasing of Apartments. Apartments may be leased or

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rented except that the same shall be used only for the purposes herein stated and such tenancy shall not be for more than four (4) consecutive months without approval of the Association. There shall be no sub-leasing or renting of rooms within an apartment.

16. LIMITATION UPON CONVEYANCE OF OWNERSHIP OF APARTMENT UNIT.

In keeping with the policy of maintaining a community of congenial residents, and for the benefit of all residents and owners of apartments in the condominium, the conveyance, sale and mortgaging of an apartment by any owner other than the Developer shall be subject to the following restrictions:

a. No apartment owner may convey, sell, transfer, give or encumber an apartment owned by him, or lease the same, except as otherwise herein provided, without approval of the Board of Administration of the Association. The Association reserves the right of first refusal on any such proposed sale, transfer or encumbrance and shall be given thirty (30) days' written notice in which to make its election. In the event the owner of an apartment shall desire to sell, lease or make a gift of the apartment owned by him or any interest therein, he shall give written notice to the president or in his absence any director of the Association or in their absence the resident agent of the Association, in writing, by United States mail, attaching thereto an executed copy of such proposed contract. Upon such notice, the Board of Administration of the Association shall, within thirty (30) days of such mailing, consider the request for transfer, at a meeting open to any member of the Association and at which time the owner proposing to make the transfer herein provided shall have the opportunity to be heard. The Board of Administration, in making its decision, shall consider among other things, but not limited to, the effect of such transfer on the overall welfare and enjoyment of the entire condominium apartments, the effect of such transfer upon the value of the apartments in the condominium, and the

RE: U03 PAGE 673

effect that a refusal to grant such request will have upon the owner seeking the request for transfer. The request for transfer shall not be unreasonably withheld or unreasonably delayed. The decision of the Board of Administration may be appealed to the membership of the Association, and in such event the owner seeking such appeal shall notify the Board of Administration, through any of its officers, in writing, within five (5) days after its decision and a meeting of the Association shall be called for such purpose within thirty (30) days after such notice. In the event the Board of Administration of the Association shall fail to approve any proposed sale or transfer, the Association shall, upon written request by the owner, provide the owners with a purchaser within ninety (90) days thereof, from the date of such final disapproval, which purchaser shall purchase upon the same terms as the purchaser proposed by the owner desiring to sell. If the Association or the Board of Administration shall deem that the proposed sale does not represent the fair market value of the property, at the election of the Association, the price to be paid shall be the fair market value determined by arbitration in accordance with the then existing rules of the American Arbitration Association, except that the arbitrators shall be two (2) appraisers appointed by the said Association who shall base their determination upon an average of their appraisals of the apartment. The expense of the arbitration shall be paid by the purchaser. In the event the Association shall not have been activated, the option herein granted to the Association shall vest in the Developer. If the Developer shall deem the proposed sale not to represent the fair market value, the same shall be determined by arbitrators on the terms herein provided. The option granted to the Association shall not extend beyond twenty (20) years from the date of the recording of this declaration. The provisions of this paragraph relating to restriction upon resale shall not apply

to any insurance company, bank, Federal Savings & Loan Association, or corporate mortgagee in the event of a sale to such mortgagees, sales by mortgagees after quieting title or at foreclosure sales. There is further excepted from the provisions of this paragraph any public sale at open bidding as may be provided by law.

17. METHOD OF AMENDMENT OF DECLARATION. Except for provisions of amendment of this declaration as granted to the Developer herein, this Declaration may be amended by special meeting called for such purpose after giving written notice to each apartment owner, mailed by United States mail, at least fifteen (15) days prior to the date of such meeting. The change may be requested at a meeting called for such change upon recommendation of the Board of Administration, or upon request of not less than 10% of the outstanding share interests in the condominium as it then shall exist. At such meeting so called, amendments may be made to the declaration upon approval of 66 2/3% of the members of the Association, or 90% of the voting shares of the Association present and voting at such meeting called for such purpose. Any such amendment so passed shall be evidenced by a certificate executed by the president or a vice-president and the secretary, and executed with the formalities of a deed and shall include the recording data identifying the original declaration.

18. TERMINATION. The condominium property may be removed from the provisions of the Florida Condominium Act, by all of the unit owners, and upon compliance with Florida Statute 711.16 (1967).

19. MISCELLANEOUS PROVISIONS:

a. The covenants and restrictions as herein contained and as attached hereto as exhibits forming a part of the condominium documents, shall be deemed to run with the land.

b. If any provision of this declaration and its exhibits hereto, as the same now exists or as may be later amended or any portion thereof, shall be held invalid by any Court, the validity of the remainder of said condominium documents shall remain in full

force and effect.

c. These condominium documents shall be binding upon the heirs, nominees, successors, administrators, executors and assigns of all apartment unit owners.

d. All notices as herein provided shall be by United States certified mail.

IN WITNESS WHEREOF, LEONARDO ARMS, INC. has caused this Condominium Declaration to be signed in its name by its president, its corporate seal to be affixed and attested by its secretary, this 3rd day of June, 1970.

LEONARDO ARMS, INC.

By: [Signature]
President

WITNESSES:
[Signature]
[Signature]

ATTEST: [Signature]
Secretary
(CORPORATE SEAL)



STATE OF FLORIDA
COUNTY OF LEE

I HEREBY CERTIFY, that on this 3rd day of June, 1970, before me, personally appeared Leonard Santini and James D. Newton, President and Secretary, respectively, of LEONARDO ARMS, INC., a corporation under the laws of the State of Florida, to me known to be the persons described in and who executed the foregoing instrument and severally acknowledged the execution thereof to be their free act and deed as such officers, for the uses and purposes therein mentioned; and that they affixed thereto the official seal of said corporation, and the said instrument is the act and deed of said corporation.

WITNESS my signature and official seal the day and year last aforesaid.

(NOTARY'S SEAL)

[Signature]
Notary Public

My Commission Expires: June 4, 1971



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EXHIBIT A

BY-LAWS

OF

LEONARDO ARMS BEACH CLUB CONDOMINIUM ASSOCIATION, UNIT II

ARTICLE I: NAME AND LOCATION.

SECTION 1: The name of this Association shall be Leonardo Arms Beach Club Condominium Association, Unit II.

SECTION 2: The principal office of the Association in this State shall be located in Fort Myers Beach, Florida.

SECTION 3: Other offices for the transaction of business shall be located at such places as the Board of Administration may from time to time determine.

ARTICLE II: MEMBERS OF THE ASSOCIATION.

SECTION 1: The members of the Association shall be as defined and designated in the Declaration of Condominium of which these by-laws form a part, together constituting the condominium documents.

SECTION 2: An annual meeting of the Association members shall be held at 8:30 P.M. on the second Monday in September of each year, said meeting to be held at the principal office of the Association or at such place, either on the condominium property or elsewhere, as may be described in the notice of such meeting. At such meeting, the Association members shall elect administrators to serve until their successors shall be elected and qualified.

SECTION 3: Any special meeting of the Association to be held at the place designated by such notice thereof may be called at any time by the president, or in his absence, a vice-president, or a majority of the administrators. It shall be the duty of the administrators, the president or a vice-president to call such a meeting

whenever so requested by the Association members constituting more than 10% of the Association voting membership.

SECTION 4: Notice of the time and place of the annual meeting and special meetings shall be mailed by United States mail by the secretary to each Association member, or in the case of a husband and wife, the same may be addressed by one notice addressed to both of them, not less than fifteen (15) days before the date of such meeting.

SECTION 5: Annual or special meetings of the Association members may be held at any time and any place within or without the condominium property when voting shares constituting two-thirds (2/3) of the outstanding voting shares, shall be present at such meeting, however called or notified, and shall sign a written consent thereto on the recording of the meeting. The acts of any such meeting shall be valid as if duly called and notified.

SECTION 6: At any meeting of the Association, an Association member shall be entitled to vote and the weight of his, her or their vote shall be the same as the percentage of ownership in the condominium building or buildings as may be subsequently amended and as provided in the Declaration of Condominium.

SECTION 7: Proxies shall be allowed, but must be in writing, and shall be filed with the secretary and by him entered and recorded in the minutes of the meeting.

SECTION 8: A quorum for the transaction of business at any Association meeting shall constitute the number of members representing a majority of the then outstanding voting shares, and the Association members present at any meeting with less than a quorum may adjourn the meeting to a future time.

a. Vote Required to Transact Business: When a quorum is present at any meeting, the holders of a majority of the voting

rights present in person or represented by written proxy shall decide any question brought before the meeting, unless the question is one upon which by expressed provision of the statutes, the declaration of condominium, or the by-laws a different vote is required, in which case such expressed provision shall govern and control the decision of such question.

SECTION 9: The Association members shall have the power, by a majority vote, at such meeting to remove any member of the Board of Administration of officer from office.

ARTICLE III: ADMINISTRATION AND MANAGEMENT OF CONDOMINIUM - BOARD OF ADMINISTRATORS:

SECTION 1: The administration and management of the condominium property as the same relates to the common elements and the providing of utilities as may be designated shall be vested in the condominium Association and through the Board of Administration. The Association shall maintain an assessment roll and shall maintain such accounts and records as are necessary and prudent in accordance with good business standards. The Association, through its officers and administrators, shall have the same powers, authorities and responsibilities as are vested in the officers and directors of a corporation not for profit under the laws of the State of Florida.

SECTION 2: The business, property of the Association, the common elements, and all assessments and generally the management and control of the Association and property owned by it, shall be conducted and managed by the Board of Administrators of not less than five (5), nor more than nine (9) administrators, who shall be elected by the Association members.

SECTION 3: An annual meeting of the Board of Administrators may be held in the principal office of the Association immediately after the adjournment of the annual Association meeting.

SECTION 4: Special meetings of the Board of Administrators shall be held in the principal office of the Association or at such other place or places within or without the condominium property as a majority of the administrators shall from time to time designate. Upon consent of a majority of the administrators, annual and special meetings of the Board may be held without notice at any time and place.

SECTION 5: Notice of all annual and special meetings, except those specified in the second sentence of Section 3 of this article, shall be mailed by United States mail to each administrator by the Secretary at least seven (7) days previous to the time fixed for the meeting. All notices of special meetings shall state the purpose thereof.

SECTION 6: A majority of the Board of Administrators for the transaction of business at any annual or special meeting shall be necessary to constitute a quorum and the act of a majority of the administrators present at any such meeting at which a quorum is present shall be the act of the Board of Administration.

SECTION 7: The Board of Administration shall elect the officers of the Association and fix their salaries, if any. Such election may be held at the Board of Administration meeting following the annual stockholder's meeting. An officer may be removed at any time by a majority vote of the Board of Administration.

SECTION 8: Vacancies in the Board of Administration may be filled by the remaining members of the Board at any regular or special meeting.

SECTION 9: At each annual meeting of the Association, the Administrators or the chairman thereof shall submit a report to the Association of the business transacted during the preceding year,

together with a report of the general financial condition of the Association.

SECTION 10: Members of the Board of Administration shall be elected for a term of two (2) years, and any member of said Board may be reelected for additional terms, provided, however, that the first Board of Administration may be comprised of members with staggered terms with one-third (1/3) of the membership elected for a term of three (3) years.

SECTION 11: In addition to the foregoing powers and authorities, the administrators shall have the power and duty to make and collect assessments against members of the Association to defray the costs of maintaining the condominium, to maintain, repair and replace condominium property, to make and amend regulations respecting the use of property of the condominium.

SECTION 12: The Board of Administration may, at its election, name from its members not less than three (3) persons to act as an Executive Committee to handle the day to day affairs of the Association.

SECTION 13: The Board of Administration shall adopt a budget for each fiscal year and the same shall contain estimates of costs for performing the various matters and functions of the Association. Copies of the proposed budget and assessments shall be mailed to each unit owner not less than thirty (30) days prior to the annual meeting.

SECTION 14: The Board of Administration shall deposit the funds of the Association in such bank or banks as they may from time to time direct and withdrawal of such funds shall be by such person or persons as the Board of Administration may direct.

SECTION 15: The Association members may direct any officer

or administrator of the Association to provide fidelity bonds in such amount as may be directed.

SECTION 16: The Board of Administration may make such amendment to the rules and regulations governing use of condominium property as they may deem proper.

SECTION 17: The Board of Administration may employ such agents or parties as it may deem necessary to assist it in the administration and management of the Association.

ARTICLE IV: OFFICERS.

SECTION 1: The Association shall have a president, a vice-president, a secretary and a treasurer. They shall be chosen by the Board of Administration and shall hold their offices from year to year and shall be elected or re-elected at the annual meeting of the Association. The Association may also have more than one (1) vice-president, assistant-secretaries or assistant-treasurers and such other officers and agents as may be deemed necessary. Any person may hold two (2) or more offices, except that the president shall not also be the secretary or assistant-secretary of the Association. The president, secretary and the treasurer must also be administrators.

SECTION 2: The president, or in his absence the vice-president, of the Association shall preside at all meetings of the Board of Administration and Association meetings. The president shall have general supervision over the affairs of the Association and over other officers and in his absence, these duties shall be performed by the vice-president.

SECTION 3: The secretary shall issue all notices of meetings of the Board of Administration and Association meetings and shall attend and keep the minutes of the same. He shall have charge of the

Association records and papers and shall perform all other duties normally incident to such office. In the absence of the secretary, his duties may be performed by an assistant-secretary.

SECTION 4: The treasurer shall have custody of the funds of the Association and shall keep regular books and accounts, together with vouchers, receipts, records and other papers normally incident to such office. The treasurer shall also maintain an assessment roll with the names of each of the members of the Association and their assessment percentage. In the case of the absence or disability of the treasurer, the duties may be performed by an assistant-treasurer.

SECTION 5: Each of the officers above described shall, in addition to the powers and duties conferred upon them herein, have all the powers, authorities and responsibilities as are designated to officers of a corporation not for profit and the laws of the State of Florida.

ARTICLE V: MANNER OF COLLECTING COMMON EXPENSES FROM UNIT OWNERS:

SECTION 1: Assessments for Common Expense. Assessments for recurring common expenses shall be made for the calendar year annually in advance on or before December 20th preceding the year for which the assessments are made. Such assessments shall be due in twelve (12) equal consecutive monthly installments on the first day of each month for the year for which the assessments are made. If an annual assessment is not made as required, an assessment shall be presumed to have been made in the amount of the last prior assessment and monthly installments thereon shall be due upon each installment payment date until changed by a new assessment. The total of the assessments for recurring common expense shall be not

more than 105% of the assessments for the purpose for the prior year unless approved in writing by apartment owners entitled to cast at least 51% of the votes of the Association provided that the same shall not prevent the levy of extraordinary assessments from time to time. In the event such an annual assessment proves to be insufficient, it may be amended at any time after approval in writing by apartment owners entitled to cast at least 51% of the votes of the Association, and the unpaid assessment for the remaining portion of the calendar year shall be due in equal monthly installments on the first day of each month thereafter during the year for which the assessment is made. The rights and powers relating to collection of common expenses granted to the Board of Administration in this Article may be exercised concurrently by the Developer until such time as management shall be vested in the Association.

SECTION 2: Acceleration of Assessment Installments Upon Default. If an apartment owner shall be in default in the payment of an installment upon an assessment, the Board of Administration may accelerate the remaining installments of the assessments upon notice thereof to the apartment owner, and thereupon the unpaid balance of the assessment shall come due upon the date stated in the notice, but not less than ten (10) days after delivery thereof to the apartment owner, or not less than twenty (20) days after the mailing of such notice to him by registered or certified mail, whichever shall first occur.

SECTION 3: Continued Default. In the event an apartment owner shall, for more than twenty (20) days after mailing of notice provided in Section 2 of this Article, be taxed to such assessment an additional penalty of \$5.00 for each and every day that said assessment shall remain unpaid. In addition, the Association may,

at its election, file an action in the same manner and in the same form as if the Association were a landlord, and the apartment owner were a tenant in default of payment of rent; all pursuant to Chapter 83, Florida Statutes (1967), and in such event, the Association may have the apartment owner removed from the premises by process of law as provided therein and in such event the apartment owner shall not be repossessed of the property until payment in full of the assessment as accelerated or such other arrangement as the said apartment owner may make with the Board of Administration. In addition, the Board of Administration may have such other actions or rights as the law may provide and grant for such default.

SECTION 4: Assessments for emergencies. Assessments for common expenses of emergencies which cannot be paid from the assessments for recurring expenses shall be made only after notice of the need therefor to the apartment owners concerned. After such notice, and upon approval in writing of more than one-half (1/2) of such apartment owners concerned, the assessment shall become effective, and it shall be due after 'thirty (30) days' notice thereof in such manner as the Board of Administration of the Association may require.

SECTION 5: Lien for Assessments Subordinate to Existing Mortgages: In any foreclosure action the lien of the Association shall be subordinate and inferior to any mortgage liens of record encumbering such apartment. In lieu of foreclosing its lien, the Association may bring suit to recover a money judgment for any sums, charges or assessments required to be paid to the Association without waiving its lien securing payment. The Association is obligated to send the mortgagee, if any, a copy of the default notice prior to instituting any action.

SECTION 6: Notification of mortgagee. Any apartment owner who mortgages his apartment shall notify the Association,

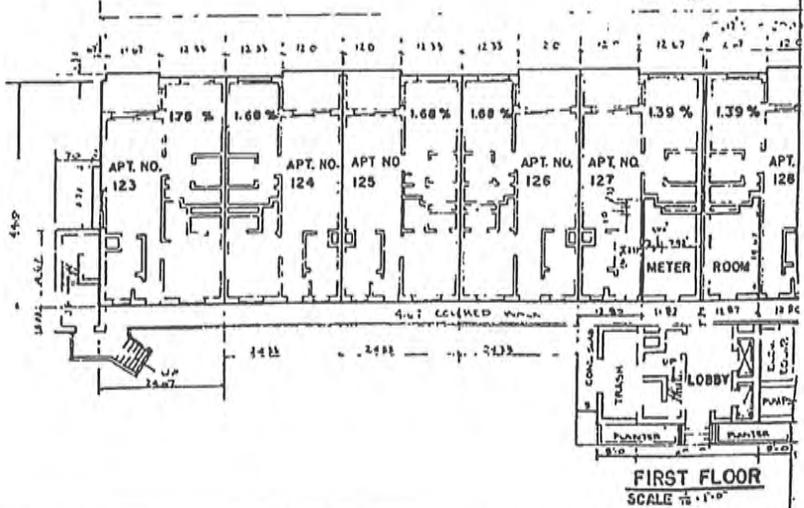
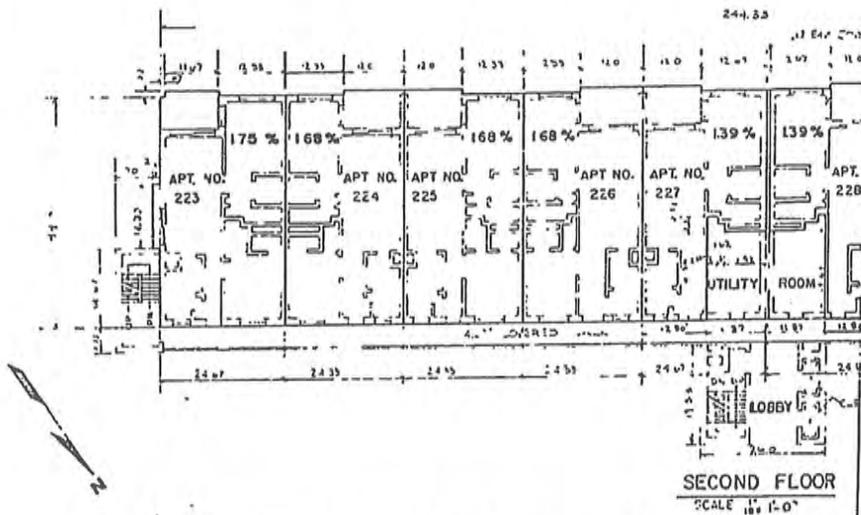
providing the name and address of his mortgagee. The Association shall notify the mortgagee of any unpaid assessments due from the owner of an apartment.

ARTICLE VI: AMENDMENT OF BY-LAWS:

The By-Laws of the Association may be amended by a vote of not less than two thirds (2/3) of the then voting shares of the Association at any annual or special meeting; provided, however, that any such amendment shall not become effective unless the said amendment shall be set forth within or annexed to a duly recorded amendment to the Declaration.

LEONARDO ARMS CONDOMINIUM U

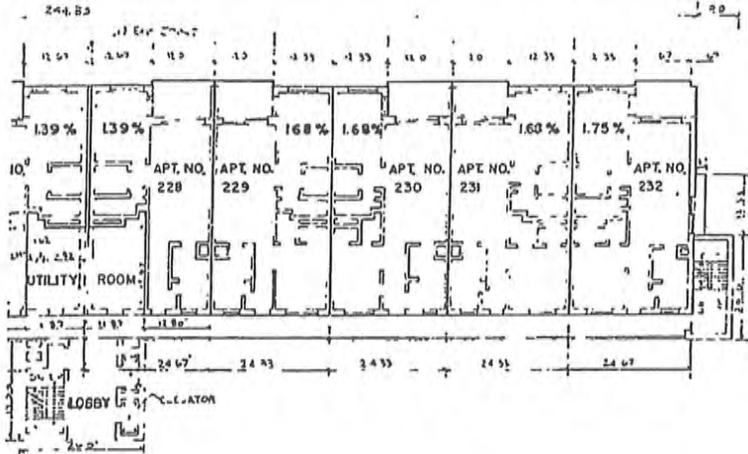
SHEET 2 OF



ARMS BEACH CLUB

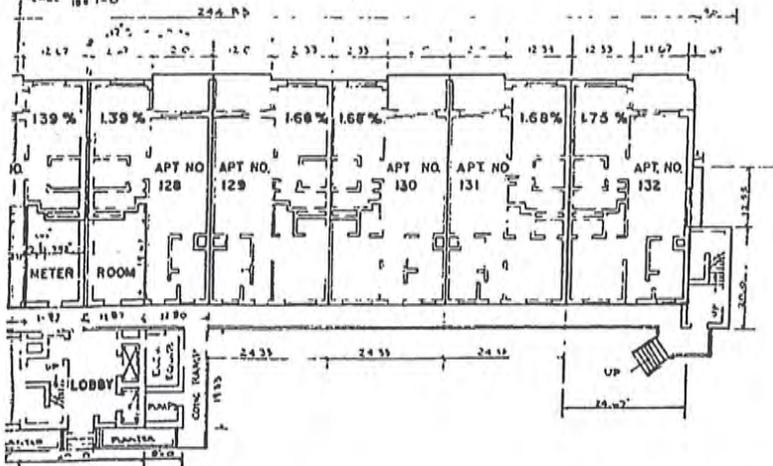
MINIUM UNIT II

SHEET 2 OF 4



SECOND FLOOR

SCALE 1/8" = 1'-0"

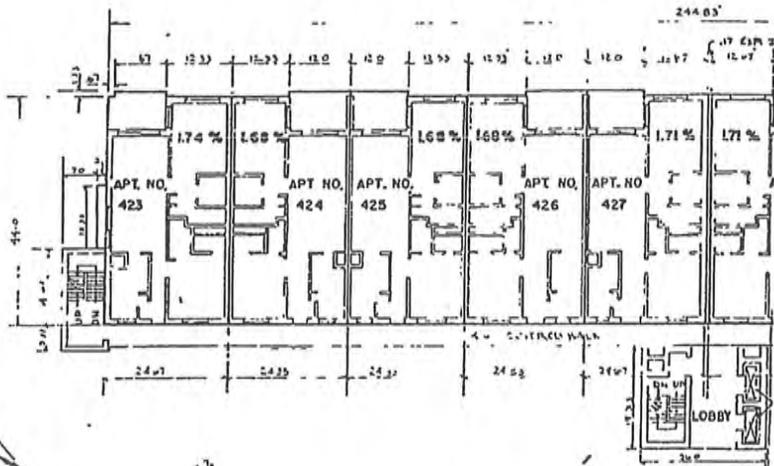


FIRST FLOOR

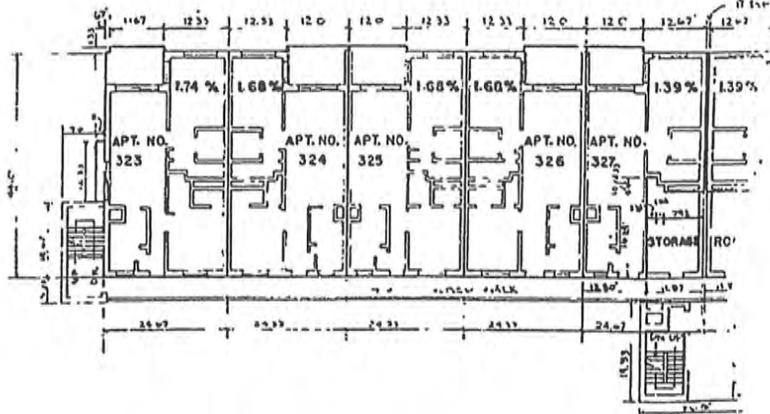
SCALE 1/8" = 1'-0"

JOB NO. 1612 B

LEONARDO ARMS I CONDOMINIUM



FOURTH FLOOR
SCALE 1/4" = 1'-0"



THIRD FLOOR
SCALE 1/4" = 1'-0"

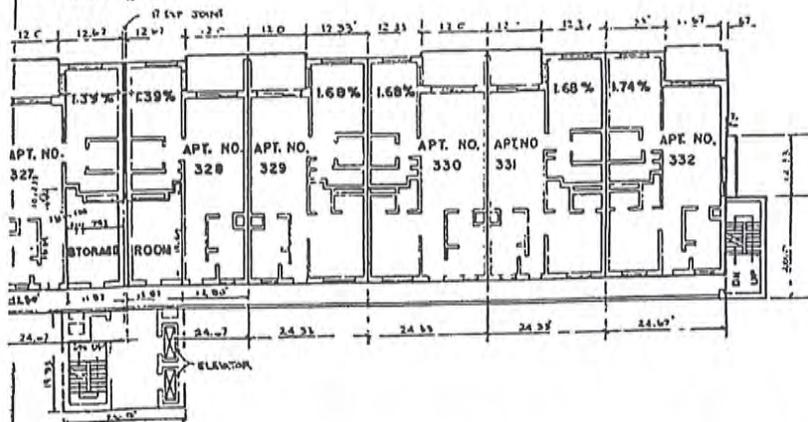
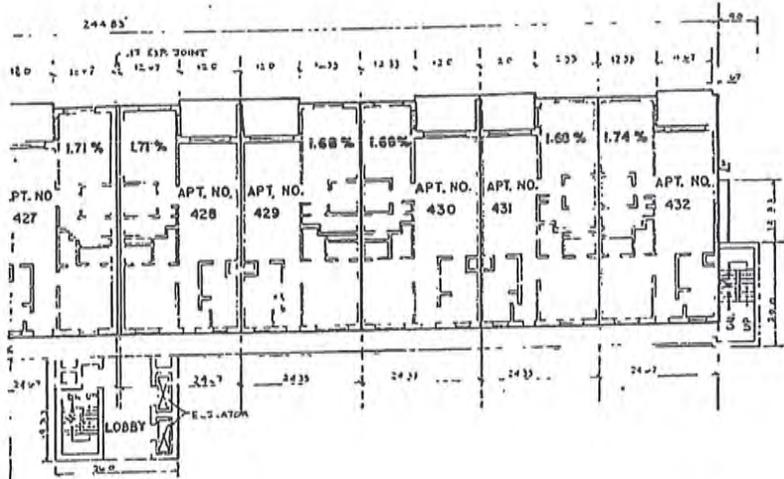
EXHIBIT B

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ARMS BEACH CLUB

CONDOMINIUM UNIT II

SHEET 3 OF 4



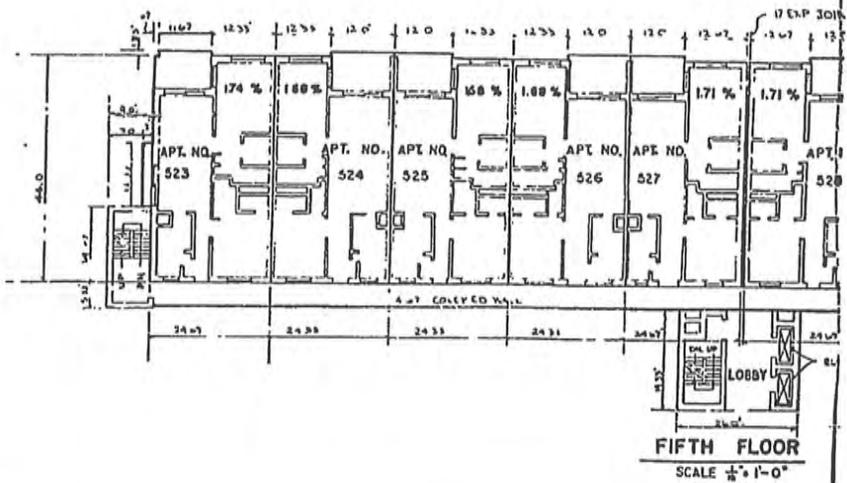
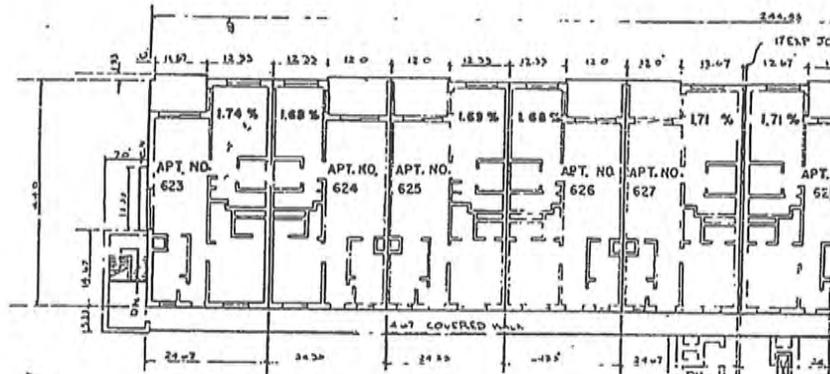
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'EXHIBIT B'

LEONARDO ARMS CONDOMINIUM

SHEET 4 OF

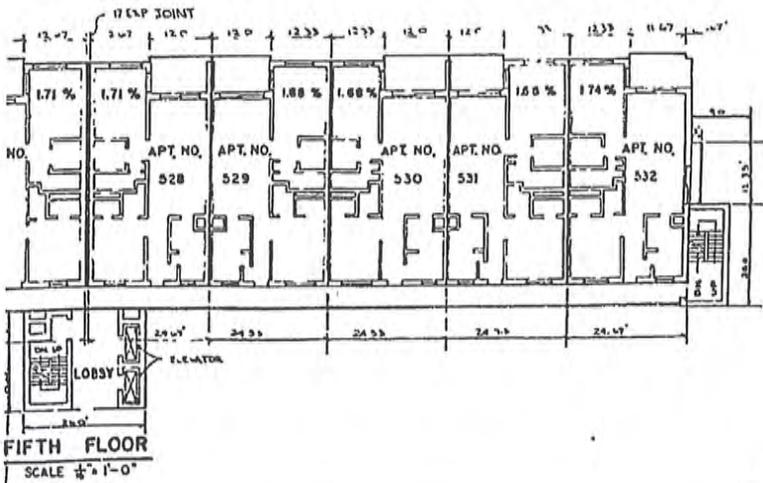
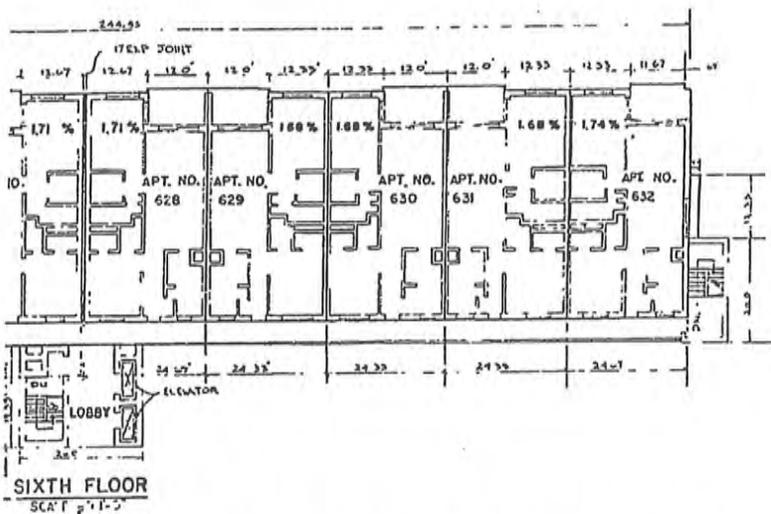


'EXHIBIT B'

ARMS BEACH CLUB

CONDOMINIUM UNIT II

SHEET 4 OF 4



RESTRICTIONS UPON USE OF APARTMENT UNITS
AND RULES AND REGULATIONS FOR
LEONARDO AP'S BEACH CLUB CO-OP/CONDO UNIT II

1. Automobiles may be parked only in the areas provided for that purpose. Boats and other water vessels shall not be maintained in the automobile parking area nor in the common area. Bicycles owned by condominium unit owners shall be parked only in the areas provided for that purpose.

2. Use of the recreational facilities of the general common elements will be in such manner as to respect the rights of other apartment owners. Use of particular recreational facilities will be controlled by regulations to be issued from time to time, but in general such use will be prohibited between the hours of 11:00 P.M. and 8:00 A.M.

3. No radio or television antenna or any wiring for any purpose may be installed on the exterior of the building without the written consent of the Association.

4. No sign, advertisement, notice or other lettering shall be exhibited, inscribed, painted or affixed by any apartment owner on any part of the outside or inside of the demised premises or building without the prior written consent of the Association.

5. The sidewalks, entrances, passages, vestibules, stairways, corridors and halls must not be obstructed or encumbered or used for any purposes other than ingress and egress to and from the premises.

6. All stairways shall be used only for the purposes intended, and shall not be used for hanging garments or other objects, or for cleaning of rugs or other household items. No apartment owner may use or maintain laundry or drying equipment within the confines of his respective apartment and no washlines of any kind will be maintained

outside owner's apartment. No apartment owner shall discard or permit to fall any items from the windows of the premises, nor shall they place or permit to be placed any foreign objects in the hallways, stairways and other common areas.

7. All common areas inside and outside the building will be used for their intended purposes and no articles belonging to unit owners shall be kept therein or thereon and such areas shall at all times be kept free of obstruction.

8. Servants and domestic help of apartment owners shall not gather or lounge in the common areas.

9. All apartments shall be used for residential purposes only.

10. Second and all third floor apartments shall be carpeted except in bathrooms and kitchens. All carpets shall be medium to heavy carpet and pad, of at least forty (40) ounce yarn per square yard of carpet and fifty-five (55) ounces of rubber padding per square yard.

11. Disposition of garbage and trash shall be only by the use of garbage disposal units or by use of receptacles approved by the Association.

12. No pets or animals shall be allowed to be kept in the condominium except for dogs, cats and birds, which must be kept on a leash or caged at all times when outside the apartment. If the Association or the developer shall determine that any such pet shall become a nuisance to other apartment owners, the pet shall be removed from the premises.

13. No owner may make or permit any disturbing noises in the building whether made by himself, his family, friends, or servants, nor do or permit anything to be done by such persons that will interfere with the rights, comforts and conveniences of other tenants. No owner may play or suffer to be played any musical instrument, phonograph, radio or television set in his apartment between the hours of

11:00 P.M. and the following 8:00 A.M. if the same shall disturb or annoy other occupants of the condominium.

14. No minor under the age of thirteen (13) years shall be allowed to remain as a permanent resident in the condominium, and visitors shall not allow children to play in public halls, or stairways, nor shall children under the age of twelve (12) be allowed in any of the common element areas unaccompanied by an adult.

15. No garbage cans, supplies, milk bottles, or other articles shall be placed in the halls or on the staircase landings, nor shall anything be hung from the windows or balconies or placed upon the window sills. Neither shall any linens, cloths, clothing, curtains, rugs or mops be shaken out or hung from any of the windows or doors. No fire exits shall be obstructed in any manner.

16. House guests of apartment owners may not maintain residence for a continuous period exceeding three (3) months and all such house guests shall be registered by the apartment owner with the Association.

17. Leasing or renting of the apartment by apartment owner is not prohibited; however, a lease or a rental shall require the apartment owner to make such a request, in writing, to the Leonardo Arms, Inc. management, setting forth the names of the sub-lessee, type of lease to be used, and supply information as may be required by the Association.

The foregoing regulation shall not apply to the Developer, Leonardo Arms, Inc.

18. Apartment owner must maintain in good condition and repair his apartment and all internal surfaces within or surrounding his apartment unit; and maintain and repair the fixtures therein and to promptly pay for any utilities which are metered separately to his apartment.

19. Neither to make nor cause to be made any structural addition or alteration to the apartment nor to the common elements without the written approval of the Association.

20. The Developer, or in its stead, the Association, may retain a pass key to the premises. No apartment owner shall alter any lock or install a new lock or a knocker on any door of the premises without the written consent of the Association or the Association's agent. In case such consent is given, the apartment owner shall provide the Association with an additional key for the use of the Association pursuant to its right of access to the premises.

21. All draperies used on window casings facing the street of the building shall be covered by white lining.

EXHIBIT "D"

FORM OF WARRANTY DEED

THIS INDENTURE, made this _____ day of _____, 1970, between LEONARDO ARMS, INC., a corporation existing under the laws of the State of Florida, having its principal place of business in the County of Lee and State of Florida, party of the first part, and _____, whose address is: _____ of the County of _____ and State of _____ party of the second part:

WITNESSTH, that the said party of the first part, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has granted bargained and sold to the said party of the second part forever, the following described condominium unit parcel, situate, lying and being in the County of Lee, State of Florida, to-wit:

Apartment No. _____ of Leonardo Arms Beach Club Condominium Unit II according to the Condominium Declaration thereof on file and recorded in the office of the Clerk of the Circuit Court in Official Record Book _____, at page _____, Public Records of Lee County, Florida, together with all appurtenances thereunto appertaining and specified in said Condominium Declaration and including, but not limited to, automobile parking space No. _____ as the same is designated on said Condominium Declaration.

Subject to restrictions, easements and reservations and designations of record as stated in said Condominium Declaration, which party of the second part hereby assumes and agrees to observe, comply with, perform and to be subject to, including but not limited to payment of all assessments as may be determined pursuant to said Condominium Declaration.

And the said party of the first part does hereby fully warrant the title to said condominium parcel, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said party of the first part has caused these presents' to be signed in its name by its president and its corporate seal to be affixed the day and year above written.

LEONARDO ARNS, INC.

By _____
President

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF:

(CORPORATE SEAL)

STATE OF FLORIDA
COUNTY OF LEU

I HEREBY CERTIFY, that on this _____ day of _____,
19___, before me personally appeared _____,
President of LEONARDO ARNS, INC., a corporation under the laws of the
State of Florida, to me known to be the person described in and who
executed the foregoing conveyance to _____
_____ and acknowledged the execution
thereof to be his free act and deed as such officer, for the uses
and purposes therein mentioned, and that he affixed thereto the
official seal of said corporation, and the said instrument is the
act and deed of said corporation.

WITNESS my signature and official seal the day and year last
aforesaid.

NOTARY PUBLIC

(NOTARY'S SEAL)

My Commission Expires: _____

PARCEL "A"

PART 2-1 OF PART OF GOVERNMENT LOT 3,
SECTION 3, TOWNSHIP 47 SOUTH, RANGE 24 EAST
for
LEONARDO ARMS, INC.

A tract or parcel of land lying in Government Lot 3, Section 3, Township 47 South, Range 24 East, Estero Island, Lee County, Florida, which tract or parcel is described as follows: From the most southerly corner of Block 3A of Unit No. 1 of Laguna Shores, according to a plat recorded in Plat Book 9 at pages 29 and 30 of the Public Records of Lee County, Florida, run S 48° 23' 00" W along a prolongation of the northwesterly line of Park Place (now part of Buccaneer Drive) as shown on said plat for 70.02 feet to a point on the former southwesterly line of Estero Boulevard as described in County Commissioner's Minute Book 11 at Page 97 of said Public Records; thence run northwesterly along the southwesterly line, along the arc of a curve to the right of radius 2899.79 feet for 147.39 feet to a point of tangency; thence run N 37° 43' 00" W along said southwesterly line for 944.00' to a point of curvature; thence run northwesterly along said southwesterly line along the arc of a curve to the right of radius 2326.83 feet for 282.68 feet; thence run S 52° 17' 00" W for 7.46 feet to a point on the southwesterly line of State Road No. S-865; (40 feet from centerline); thence run northwesterly along said southwesterly line of said State Road, along the arc of a curve to the right having a radius of 2331.83 feet (chord bearing N 28° 39' 47" W) for 180.72 feet to a change in right of way; thence S 63° 33' 26" W along said right of way for 5.0 feet; thence S 72° 11' 08" W for 295.26 feet; thence S 52° 17' W for 93.95 feet to the POINT OF BEGINNING; thence N 37° 43' W for 55.31 feet; thence N 0° 49' W for 165.16 feet, to an intersection with a line parallel with and 300 feet (as measured on a perpendicular) southerly from the north line of said Government Lot 3; thence S 89° 11' 00" W, along said parallel line, for 460 feet more or less to the waters of the Gulf of Mexico; thence southeasterly, along said waters for 480 feet more or less to an intersection with a line bearing S 52° 17' 00" W, passing thru the POINT OF BEGINNING; thence N 52° 17' 00" E along said line for 121 feet more or less to the POINT OF BEGINNING. Bearings hereinabove mentioned are Plane Coordinate for the Florida West Zone. Subject to a drainage and walkway easement over the southerly 10 feet of the northerly 35 feet of said parcel. Including right of ingress and egress over and across the southerly 20 feet of the northerly 340 feet of that portion of Government Lot 3 lying west of said State Road #S-865.

ATTACHMENT 1

hc. 063 no. 901

SURVEYOR'S CERTIFICATION

LEONARDO ARMS BEACH CLUB CONDOMINIUM UNIT II

I have examined the Declaration of Condominium and attached Exhibits, including the "Plot Plan" of Leonardo Arms Beach Club Condominium Unit II as recorded in Official Record Book 203, at page 362 through 903, inclusive, Lee County, Florida Public Records, and certify that such material constitutes a correct representation of the improvements described and that there can be determined therefrom the identification, location, dimensions and size of the common elements and of each unit.

DONE this 5th day of June, 1970.

INK ENGINEERING, INC.

By Stanley K. Ink
Stanley K. Ink
Registered Eng. No. 4964
Registered Land Surv. No. 1733

STATE OF FLORIDA)
) SS:
COUNTY OF LEE)

BEFORE ME, the undersigned authority, authorized to administer oaths and take acknowledgments, personally appeared STANLEY K. INK of Ink Engineering, Inc., to me well known to be the person described in and who executed the above and foregoing Surveyor's Certification, and he acknowledged before me that he executed the same freely and voluntarily for the uses and purposes therein expressed and set forth, and that he is over the age of twenty-one (21) years.

WITNESS my hand and official seal at Fort Myers, Lee County, Florida, this 5th day of June, 1970.

Allen D. Reed
Notary Public

My Commission Expires: June 4, 1971



CONSENT OF MORTGAGEE TO CONDOMINIUM DECLARATION

The undersigned, The Edison National Bank in Fort Myers, Fort Myers, Florida, being the mortgagee in the property declared for condominium usage as said mortgage is recorded in Official Record Book 599 at page 345, Public Records of Lee County, Florida, does by the execution hereof, herewith join in the execution and declaration of said properties for condominium use, without, however, assigning any of the obligations assumed by the Developer herein.

Executed this 27th day of June, 1970.

THE EDISON NATIONAL BANK IN FORT MYERS (CORPORATE SEAL) By Matthew W. Wood Vice President

STATE OF FLORIDA COUNTY OF LEE

I HEREBY CERTIFY, That on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, Matthew W. Wood as Vice President of The Edison National Bank in Fort Myers, to me well known and known to me to be the individual described in and who executed the foregoing instrument, and he acknowledged before me that he executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal this 27th day of June, 1970.



Barbara C. ... Notary Public

My Commission Expires: June 14, 1974

CONSENT OF MORTGAGEE TO CONDOMINIUM
DECLARATION

The undersigned, Leonard Santini, being the mortgagee in the property declared for condominium usage as said mortgage is recorded in Official Record Book 567 at page 755, Public Records of Lee County, Florida, does by the execution hereof, herewith join in the execution and declaration of said properties for condominium use, without, however, assigning any of the obligations assumed by the Developer herein.

Executed this 3rd day of June, 1970.

(LS) Leonard Santini

STATE OF FLORIDA

COUNTY OF LEE

I HEREBY CERTIFY, That on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, Leonard Santini, to me well known and known to me to be the individual described in and who executed the foregoing instrument, and he acknowledged before me that he executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal this 3rd day of June, 1970.

Alvin C. P. Reed
Notary Public

My Commission Expires: June 4, 1971



RECORDED
JUN 8 8 53 AM '70
D. T. FARAFEE
CLERK CIRCUIT COURT
BY W. M. Hughes D.C.



Exhibit 5-5

The restrictions/covenants do not affect this request. Appropriate procedures are approved in emergency situations. The request is a continuation of the temporary sand bag placement responding to the emergency situation due to on-going coastal erosion.



Lee County Property Appraiser

Kenneth M. Wilkinson, C.F.A.

GIS Department / Map Room

Phone: (239) 533-6159 • Fax: (239) 533-6139 • eMail: MapRoom@LeePA.org

VARIANCE REPORT

Date of Report: 8/7/2013 12:59:32 PM
Buffer Distance: 500 ft
Parcels Affected: 512
Subject Parcels: 03-47-24-W4-02100.00CE

<u>OWNER NAME AND ADDRESS</u>	<u>STRAP AND LOCATION</u>	<u>LEGAL DESCRIPTION</u>	<u>MAP INDEX</u>
TIITF/SOVEREIGNTY LANDS DEPT OF ENVIR PROTECTION 3900 COMMONWEALTH BLVD TALLAHASSEE, FL 32399	03-47-24-W1-00001.1000 ACCESS UNDETERMINED FORT MYERS BEACH FL	ISLAND LOCATED IN SECS 3 4 + 10 TWP 47 RGE 24	2
ESTERO BEACH + TENNIS ALLIANT PROPERTY MANAGEMENT 6719 WINKLER RD STE 200 FORT MYERS, FL 33919	03-47-24-W1-03700.00CE 7302 ESTERO BLVD FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 COMMON ELEMENTS	3
SANTA MARIA II CONDO ASSOC 6640 ESTERO BLVD FORT MYERS BEACH, FL 33931	03-47-24-W1-06300.00CE SANTA MARIA II CONDO C/E FORT MYERS BEACH FL	COMMONS ELEMENTS DESC OR 2259 PG 4512	4
LEONARDO ARMS BEACH CLUB 13117 FEATHERSOUND DR FORT MYERS, FL 33919	03-47-24-W4-02000.00CE 7404 ESTERO BLVD FORT MYERS BEACH FL 33931	LEONARDO ARMS CONDO I OR 0520 PG 0725 CP 1 PG 195 COMMON ELEMENTS	5
LEONARDO ARMS BEACH CLUB 13117 FEATHERSOUND DR FORT MYERS, FL 33919	03-47-24-W4-02200.00CE 7402 ESTERO BLVD FORT MYERS BEACH FL 33931	LEONARDO ARMS CONDO III OR 0701 PG 0176 CP 2 PG 89 COMMON ELEMENTS	6
RIVIERA CLUB CONDO SENTRY MANAGEMENT INC 2180 W SR 434 STE 5000 LONGWOOD, FL 32779	03-47-24-W4-04400.00CE HDR: RIVIERA CLUB FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO COMMON AREA DESC OR BK 1544 PG 1521	7
BERMUDA DUNES CONDO ASSN INC 9411 CYPRESS LAKE DR STE 2 FORT MYERS, FL 33919	03-47-24-W4-06200.00CE BERMUDA DUNES C/E FORT MYERS BEACH FL	BERMUDA DUNES CONDO COMMON AREA DESC OR BK 2213 PG 1372 + CPB 18 PG 45	8
BELLA LAGO CONDOMINIUM AT INTEGRATED PROPERTY MGMT 3435 10TH ST N # 201 NAPLES, FL 34109	03-47-24-W4-08100.00CE 7441 BELLA LAGO DR FORT MYERS BEACH FL 33931	BELLA LAGO CONDOMINIUM AT BAY BEACH DESC IN INST#2006-56131 COMMON ELEMENTS	9
KEATING JOHN M + CYNTHIA J 11788 SEAGULL LN PALOS HEIGHTS, IL 60463	03-47-24-W1-0370B.0101 7330 ESTERO BLVD 101 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-101	10
TANK DAVID A TR 13871 NE AMELIA DR VILLARD, MN 56385	03-47-24-W1-0370B.0102 7330 ESTERO BLVD 102 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-102	10
DIXON CHRISTINE + 14391 TAMARAC DR BOKEELIA, FL 33922	03-47-24-W1-0370B.0103 7330 ESTERO BLVD 103 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-103	10
STIEGLER GREGORY A + JANICE M 64 DAYTON HILL RD NORTHFORD, CT 06472	03-47-24-W1-0370B.0104 7330 ESTERO BLVD 104 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-104	10
BENEFICIAL CAPITAL INC PO BOX 5679 TOLEDO, OH 43613	03-47-24-W1-0370B.0105 7330 ESTERO BLVD 105 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-105	10
ROBINSON MARK E + JILL M 32355 LEE LN FARMINGTON, MI 48336	03-47-24-W1-0370B.0106 7330 ESTERO BLVD 106 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-106	10

OWNER NAME AND ADDRESS	STRAP AND LOCATION	LEGAL DESCRIPTION	MAP INDEX
BECK WILLIAM F 2611 E SAND RD PORT CLINTON, OH 43452	03-47-24-W1-0370B.0107 7330 ESTERO BLVD 107 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-107	10
LOFFRENO PASCUAL TR 1/2 INT + 8002 ESTERO BLVD FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.0108 7330 ESTERO BLVD 108 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-108	10
ZDUNCZYK JOE R + JOANNE 812 SANDRALEE DR TOLEDO, OH 43612	03-47-24-W1-0370B.0201 7330 ESTERO BLVD 201 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-201	10
BEATTY DORIS L 7330 ESTERO BLVD #202 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.0202 7330 ESTERO BLVD 202 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-202	10
BYCZKO BARBARA KAZMIERCZAK + 63 JAMES ST TORONTO, ON M8W 1L4 CANADA	03-47-24-W1-0370B.0203 7330 ESTERO BLVD 203 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-203	10
KNOLL KLAUS TR 4600 76TH ST SW BYRON CENTER, MI 49315	03-47-24-W1-0370B.0204 7330 ESTERO BLVD 204 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-204	10
KAKATSCH FAMILY LIMITED 1364 SHADOW LN FORT MYERS, FL 33901	03-47-24-W1-0370B.0205 7330 ESTERO BLVD 205 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-205	10
LAWSON ROBERT C + KAREN A 3134 WINDON AVE LANCASTER, PA 17603	03-47-24-W1-0370B.0206 7330 ESTERO BLVD 206 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-206	10
MURRAY WENDY M + 787 OVERRIVER DR NORTH FORT MYERS, FL 33903	03-47-24-W1-0370B.0207 7330 ESTERO BLVD 207 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-207	10
KUPITS KENNETH S PO BOX 117 LANOKA HARBOR, NJ 08734	03-47-24-W1-0370B.0208 7330 ESTERO BLVD 208 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-208	10
DEFRANCESCO JOSEPH G 329 VIRGINIA AVE PITTSBURGH, PA 15211	03-47-24-W1-0370B.0301 7330 ESTERO BLVD 301 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-301	10
KOPIDLANSKY VICTOR + DIANA TR 494 WASHINGTON CT FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.0302 7330 ESTERO BLVD 302 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-302	10
KENZIORRA GUENTHER + ERIKA M 14680 EAGLES LOOKOUT CT FORT MYERS, FL 33912	03-47-24-W1-0370B.0303 7330 ESTERO BLVD 303 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-303	10
BERGNER PATRICK E TR + 649 ARLINGTON AVE DES PLAINES, IL 60016	03-47-24-W1-0370B.0304 7330 ESTERO BLVD 304 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-304	10
WERNER RHEA 200 RECTOR PL APT 36D NEW YORK, NY 10280	03-47-24-W1-0370B.0305 7330 ESTERO BLVD 305 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-305	10
PAYNE JERRY 8603 WINTERGREEN CT #403 ODENTON, MD 21113	03-47-24-W1-0370B.0306 7330 ESTERO BLVD 306 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-306	10
BELLISSIMO CELESTE 317 RED OAK CT MONROEVILLE, PA 15146	03-47-24-W1-0370B.0307 7330 ESTERO BLVD 307 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-307	10
ARNOLD RONALD D + SUSAN K TR 11899 PARKVIEW LN HALES CORNERS, WI 53130	03-47-24-W1-0370B.0308 7330 ESTERO BLVD 308 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-308	10
WILSON STEVEN E + MARY S L/E 5 ORCHARD ST NIANTIC, CT 06357	03-47-24-W1-0370B.0401 7330 ESTERO BLVD 401 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-401	10
BELL WILLIAM K + DIANE S 12721 HUNTERS RIDGE DR BONITA SPRINGS, FL 34135	03-47-24-W1-0370B.0402 7330 ESTERO BLVD 402 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-402	10
BRYDGES ANNA MARIE 7330 ESTERO BLVD APT 403B FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.0403 7330 ESTERO BLVD 403 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-403	10

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BERGNER JANET L TR 649 ARLINGTON AVE DES PLAINES, IL 60016	03-47-24-W1-0370B.0404 7330 ESTERO BLVD 404 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-404	10
SPILMAN CHARLES H TR 1/2 + 12751 KELLY SANDS WAY FORT MYERS, FL 33908	03-47-24-W1-0370B.0405 7330 ESTERO BLVD 405 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-405	10
SEIBERT URSULA M 7330 ESTERO BLVD #406 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.0406 7330 ESTERO BLVD 406 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-406	10
HARRIS JAMES T + 8 MADONNA LN ANNANDALE, NJ 08801	03-47-24-W1-0370B.0407 7330 ESTERO BLVD 407 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-407	10
WEISS RONALD P + JOAN C PO BOX 68 MADISON LAKE, MN 56063	03-47-24-W1-0370B.0408 7330 ESTERO BLVD 408 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-408	10
CLOUSER CLIFFORD + MARGARET TR 19870 BRECKENRIDGE DR #101 ESTERO, FL 33928	03-47-24-W1-0370B.0501 7330 ESTERO BLVD 501 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-501	10
PEIFFER GERARD H + ELINOR S 2160 SAVANNAH PKWY WESTLAKE, OH 44145	03-47-24-W1-0370B.0502 7330 ESTERO BLVD 502 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-502	10
MCDONALD ELWOOD 340 LAKELAND AVE UNIT 10 G SAYVILLE, NY 11782	03-47-24-W1-0370B.0503 7330 ESTERO BLVD 503 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-503	10
ATKINSON CAROL L 310 NORMANDY CIR NASHVILLE, TN 37209	03-47-24-W1-0370B.0504 7330 ESTERO BLVD 504 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-504	10
GIBBONS JAMES F + CAROLYN W10090 JACOBSON RD CAMP DOUGLAS, WI 54618	03-47-24-W1-0370B.0505 7330 ESTERO BLVD 505 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-505	10
BAXTER ANDREA 6737 BLUFFGROVE DR INDIANAPOLIS, IN 46278	03-47-24-W1-0370B.0506 7330 ESTERO BLVD 506 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-506	10
HARDING RICHARD D + DIANA L 7330 ESTERO BLVD #507 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.0507 7330 ESTERO BLVD 507 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-507	10
YOUNG MARTIN G + ROSALEE 5385 OXFORD MANOR CIR LAKELAND, FL 33810	03-47-24-W1-0370B.0508 7330 ESTERO BLVD 508 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-508	10
GESSMAN LAWRENCE J + LOUISE J 1929 WEST POINT CT CHERRY HILL, NJ 08003	03-47-24-W1-0370B.0601 7330 ESTERO BLVD 601 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-601	10
WALLACE WILLIAM S + MARY L 16780 LUCKY BELL LN CHAGRIN FALLS, OH 44023	03-47-24-W1-0370B.0602 7330 ESTERO BLVD 602 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-602	10
RICHERT HERMAN W JR 12577 COCONUT CREEK CT FORT MYERS, FL 33908	03-47-24-W1-0370B.0603 7330 ESTERO BLVD 603 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-603	10
HANLEY JOHN + RAE ANN 26150 CLARKSTON DR #26101 BONITA SPRINGS, FL 34135	03-47-24-W1-0370B.0604 7330 ESTERO BLVD 604 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-604	10
KAKATSCH JOHN + JEAN TR 1364 SHADOW LN FORT MYERS, FL 33901	03-47-24-W1-0370B.0605 7330 ESTERO BLVD 605 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-605	10
CAMP ALAN D JR + SUSAN M 5687 BEACON HILL DR SEVEN HILLS, OH 44131	03-47-24-W1-0370B.0606 7330 ESTERO BLVD 606 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-606	10
WAGONER MICHAEL A + KATHY L 164 EMS C29A LN WARSAW, IN 46582	03-47-24-W1-0370B.0607 7330 ESTERO BLVD 607 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-607	10
BELL GRANT E+ SUSAN A EGAN 604 SIERRA ROSE CIR JOLIET, IL 60431	03-47-24-W1-0370B.0608 7330 ESTERO BLVD 608 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-608	10

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ANDERSON GAIL A 24924 S RIDGE RD ELWOOD, IL 60421	03-47-24-W1-0370B.0701 7330 ESTERO BLVD 701 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-701	10
BOWRON CHRIS + CARMEN 5 HAMPTON CT NIAGARA ON THE LAKE, ON L0S 1J0 CANADA	03-47-24-W1-0370B.0702 7330 ESTERO BLVD 702 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-702	10
TAITE ROBERT J + PENNY 1701 TRANS CANADA HWY CUMBERLAND, ON K4C 1H5 CANADA	03-47-24-W1-0370B.0703 7330 ESTERO BLVD 703 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-703	10
WREZA BRYANT + MARLENE 3000 NW 43RD PL CAPE CORAL, FL 33993	03-47-24-W1-0370B.0704 7330 ESTERO BLVD 704 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-704	10
PEASE BARBARA N7467 BLACK OAK RD DEERBROOK, WI 54424	03-47-24-W1-0370B.0705 7330 ESTERO BLVD 705 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-705	10
WARING RICHARD W 845 HEATHERMOOR LN PERRYSBURG, OH 43551	03-47-24-W1-0370B.0706 7330 ESTERO BLVD 706 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-706	10
VACKAR BORIVOJ K + ALENA 512 SILVERWOOD FARMS DR LEBANON, OH 45036	03-47-24-W1-0370B.0707 7330 ESTERO BLVD 707 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-707	10
LOFFRENO REAL ESTATE INC 2100 ESTERO BLVD FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.0708 7330 ESTERO BLVD 708 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-708	10
KNIPS GERALD L + BEVERLY J TR 9550 COLLEGEVIEW RD APT 115 BLOOMINGTON, MN 55437	03-47-24-W1-0370B.0801 7330 ESTERO BLVD 801 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-801	10
BRIGHT LOLA L/E 31 CEDAR LN POUGHKEEPSIE, NY 12601	03-47-24-W1-0370B.0802 7330 ESTERO BLVD 802 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-802	10
PATTERSON THOMAS G + MARGARET 16299 SAN CARLOS A-17 FORT MYERS, FL 33908	03-47-24-W1-0370B.0803 7330 ESTERO BLVD 803 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-803	10
GAST GARY J + CAROL A 21 MILE RD COVENTRY, RI 02816	03-47-24-W1-0370B.0804 7330 ESTERO BLVD 804 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-804	10
OLMSTED SIDNY + JOHANNA PO BOX 731 MATTITUCK, NY 11952	03-47-24-W1-0370B.0805 7330 ESTERO BLVD 805 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-805	10
KUZNICKI KENNETH A TR 390 GOLF VILLA DR OXFORD, MI 48371	03-47-24-W1-0370B.0806 7330 ESTERO BLVD 806 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-806	10
GIARDINA KENNETH J + KAREN A 650 BERLIN RD MARLBOROUGH, MA 01752	03-47-24-W1-0370B.0807 7330 ESTERO BLVD 807 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-807	10
AVALLONE DANIEL J 37 LIETRIM CIR CENTERVILLE, MA 02632	03-47-24-W1-0370B.0808 7330 ESTERO BLVD 808 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-808	10
BANKERT GARY L + CAROL L 1 VALLEY VIEW ST BERLIN HEIGHTS, OH 44814	03-47-24-W1-0370B.0901 7330 ESTERO BLVD 901 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-901	10
RICHERT HERMAN W JR + 12577 COCONUT CREEK CT FORT MYERS, FL 33908	03-47-24-W1-0370B.0902 7330 ESTERO BLVD 902 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-902	10
RICHERT HERMAN JR 12577 COCONUT CREEK CT FORT MYERS, FL 33908	03-47-24-W1-0370B.0903 7330 ESTERO BLVD 903 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-903	10
HUYLER BONNIE J 316 STINSON RD BRICK, NJ 08723	03-47-24-W1-0370B.0904 7330 ESTERO BLVD 904 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-904	10

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LANDOLFI ROSANNA + 33 TOWER RD WEST WARWICK, RI 02893	03-47-24-W1-0370B.0905 7330 ESTERO BLVD 905 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-905	10
TAGG CAROLE 204 CLOCKTOWER DR UNIT 6404 WALTHAM, MA 02452	03-47-24-W1-0370B.0906 7330 ESTERO BLVD 906 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-906	10
RESZEL ROBERT JR 2008 MAYFIELD JOLIET, IL 60435	03-47-24-W1-0370B.0907 7330 ESTERO BLVD 907 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-907	10
TYREE MICHAEL L + TERRI M 17860 WELLSWOOD RD NORTH FORT MYERS, FL 33917	03-47-24-W1-0370B.0908 7330 ESTERO BLVD 908 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-908	10
FISHER LEE I + LYNN 29688 LAKESHORE DR PEQUOT LAKES, MN 56472	03-47-24-W1-0370B.1001 7330 ESTERO BLVD 1001 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1001	10
GOODMAN FRANK O + KAZUKO 190 MOHAWK AVE WATERLOO, ON N2L 2T3 CANADA	03-47-24-W1-0370B.1002 7330 ESTERO BLVD 1002 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1002	10
DIX ROLLIN C TR 10154 S SEELEY AVE CHICAGO, IL 60643	03-47-24-W1-0370B.1003 7330 ESTERO BLVD 1003 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1003	10
JSL INVESTMENT PROPERTIES LLC 1001 QUEBEC AVE N GOLDEN VALLEY, MN 55427	03-47-24-W1-0370B.1004 7330 ESTERO BLVD 1004 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1004	10
BEST CRAIG W + LISA M 109 OVERLOOK ROAD WAVERLY TOWNSHIP, PA 18411	03-47-24-W1-0370B.1005 7330 ESTERO BLVD 1005 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1005	10
NEAL DOROTHY J TR 25975 EDINBOROUGH CIR PERRYSBURG, OH 43551	03-47-24-W1-0370B.1006 7330 ESTERO BLVD 1006 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1006	10
WERNER RICHARD H TR 7150 ESTERO BLVD APT 506 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.1007 7330 ESTERO BLVD 1007 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1007	10
HANEY MICHAEL H + JANE M 5015 COMPASS LN FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.1008 7330 ESTERO BLVD 1008 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1008	10
OTT HOWARD F TR 5872 IVY STONE CT DUBLIN, OH 43016	03-47-24-W1-0370B.1101 7330 ESTERO BLVD 1101 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1101	10
BARTH RONALD O + LINDA M 3685 HIGHWAY 1806 MANDAN, ND 58554	03-47-24-W1-0370B.1102 7330 ESTERO BLVD 1102 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1102	10
FRANKLIN THOMAS B 4776 LOWER RIVER RD LEWISTON, NY 14092	03-47-24-W1-0370B.1103 7330 ESTERO BLVD 1103 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1103	10
KING DIANE K 7330 ESTERO BLVD APT 1104 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.1104 7330 ESTERO BLVD 1104 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1104	10
GUELLEC KONGAL + DIANE 170 LENELL RD APT 801 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.1105 7330 ESTERO BLVD 1105 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1105	10
WENGRZYN WALTER J + CAROLE H 49 SYLVAN TER NORTH ANDOVER, MA 01845	03-47-24-W1-0370B.1106 7330 ESTERO BLVD 1106 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1106	10
ARNOLD RONALD D + SUSAN K TR 11899 PARKVIEW LN HALES CORNERS, WI 53130	03-47-24-W1-0370B.1107 7330 ESTERO BLVD 1107 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1107	10
WILLIAMS DIANA L 221 EDWARD AVE LEHIGH ACRES, FL 33936	03-47-24-W1-0370B.1108 7330 ESTERO BLVD 1108 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-1108	10
WERNER RICHARD H TR 7150 ESTERO BLVD APT 506 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370B.PH10 7330 ESTERO BLVD PH1 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-PH1	10

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GIBBONS KENNETH 12212 GREYMORE CT CHARLOTTE, NC 28277	03-47-24-W1-0370B.PH20 7330 ESTERO BLVD PH2 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-PH2	10
GIBBONS MICHAEL P + SUE A 12589 COCONUT CREEK CT FORT MYERS, FL 33908	03-47-24-W1-0370B.PH30 7330 ESTERO BLVD PH3 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-PH3	10
CASIMIR MAUD 102 NORTHERN BREEZE MOUNT HOPE, ON LOR 1W0 CANADA	03-47-24-W1-0370B.PH40 7330 ESTERO BLVD PH4 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-PH4	10
DELPH JAMES E + KAY A TR 436 E BOUNDARY ST PERRYSBURG, OH 43551	03-47-24-W1-0370B.PH50 7330 ESTERO BLVD PH5 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-PH5	10
BELL AND ROGALSKI LLC 12721 HUNTERS RIDGE DR BONITA SPRINGS, FL 34135	03-47-24-W1-0370B.PH60 7330 ESTERO BLVD PH6 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-PH6	10
FARLAND LEO R + LUCILLE R 10 DOUGHERTY AVE PLAINFIELD, CT 06374	03-47-24-W1-0370B.PH70 7330 ESTERO BLVD PH7 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-PH7	10
CARNEIRO RONALDO TR + 208 NAPA RIDGE RD E NAPLES, FL 34119	03-47-24-W1-0370B.PH80 7330 ESTERO BLVD PH8 FORT MYERS BEACH FL 33931	ESTERO BCH + TENNIS CLUB OR 1357 PG 125 UNIT B-PH8	10
KESSELRING RICHARD + ELIZABETH 4939 NW 2ND PL GAINESVILLE, FL 32607	03-47-24-W1-0370C.0101 7360 ESTERO BLVD 101 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO PR 1357 PG 125 UNIT C-101	11
TREMBLEY JOAN 40 ARTHUR AVENUE BARRIE, ON L4M 6H4 CANADA	03-47-24-W1-0370C.0102 7360 ESTERO BLVD 102 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-102	11
BUBNIAK WILLIAM A + DONNA M 24 MEADOWLARK DR COHOES, NY 12047	03-47-24-W1-0370C.0103 7360 ESTERO BLVD 103 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-103	11
MELZER MARY E + 3350 AMELIA RUN WAY NORTH FORT MYERS, FL 33917	03-47-24-W1-0370C.0104 7360 ESTERO BLVD 104 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-104	11
HELLENDRUNG WILLIAM M 6911 192ND AVE EDEN PRAIRIE, MN 55346	03-47-24-W1-0370C.0105 7360 ESTERO BLVD 105 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-105	11
BOLDUC PETER + VICTORIA 510 SIMCOE ST NIAGARA ON THE LAKE, ON LOS 1J0 CANADA	03-47-24-W1-0370C.0106 7360 ESTERO BLVD 106 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-106	11
MEYERS CHERYL L 16N705 MERRIWEATHER LN WEST DUNDEE, IL 60118	03-47-24-W1-0370C.0107 7360 ESTERO BLVD 107 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-107	11
LEBO MARGARET L TR 7360 ESTERO BLVD # C-108 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370C.0108 7360 ESTERO BLVD 108 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-108	11
RANDALL NANCY T + WILLIAM 6006 GROUSE CT FLOYDS KNOBS, IN 47119	03-47-24-W1-0370C.0201 7360 ESTERO BLVD 201 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-201	11
DEMARCO PHILIP + HELEN 924 HIGHLAND AVE FALL RIVER, MA 02720	03-47-24-W1-0370C.0202 7360 ESTERO BLVD 202 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-202	11
BOSAK NANCY + SHANNON 16824 JACKSONVILLE CT LAKEVILLE, MN 55044	03-47-24-W1-0370C.0203 7360 ESTERO BLVD 203 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-203	11
MERTENS WILMORE L JR + SHERRY 28861 REGIS CT BONITA SPRINGS, FL 34134	03-47-24-W1-0370C.0204 7360 ESTERO BLVD 204 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-204	11
LOFTUS JOHN J + GAIL M + 137 W 50TH ST MINNEAPOLIS, MN 55419	03-47-24-W1-0370C.0205 7360 ESTERO BLVD 205 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-205	11

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REIMANN STEPHEN + CHRISTENIA 3 UPPER POND CT CENTERPORT, NY 11721	03-47-24-W1-0370C.0206 7360 ESTERO BLVD 206 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-206	11
LUCAS JOSEPH E PO BOX 1152 CEDAR RAPIDS, IA 52406	03-47-24-W1-0370C.0207 7360 ESTERO BLVD 207 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-207	11
YOUNG ELIZABETH ANNE 8640 SKYMASTER DR NEW PORT RICHEY, FL 34654	03-47-24-W1-0370C.0208 7360 ESTERO BLVD 208 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-208	11
MCHENNEY MARK + SANDRA 714 N SCOTT ST WHEATON, IL 60187	03-47-24-W1-0370C.0301 7360 ESTERO BLVD 301 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-301	11
MEYERS DUWAIN E + MARY ANN 7360 ESTERO BLVD #302 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370C.0302 7360 ESTERO BLVD 302 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-302	11
ADELIZZI DORA + 1373 E EVERGREEN DR UNIT 7 PALATINE, IL 60074	03-47-24-W1-0370C.0303 7360 ESTERO BLVD 303 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-303	11
LONGINO ALVA WAYNE + ELISE C 230 OAK FOREST DR MCDONOUGH, GA 30253	03-47-24-W1-0370C.0304 7360 ESTERO BLVD 304 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-304	11
JOHNSON RODERICK D + JOAN W 7360 ESTERO BLVD APT 305 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370C.0305 7360 ESTERO BLVD 305 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-305	11
SULLIVAN F NORMAN S 8281 LOWER E HILL RD COLDEN, NY 14033	03-47-24-W1-0370C.0306 7360 ESTERO BLVD 306 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-306	11
PAYNE JERRY 1/3 + 7330 ESTERO BLVD APT 306B FORT MYERS BEACH, FL 33931	03-47-24-W1-0370C.0307 7360 ESTERO BLVD 307 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-307	11
NOWAK GARY 7360 ESTERO BLVD # C-308 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370C.0308 7360 ESTERO BLVD 308 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-308	11
SHEA TIMOTHY M + MARY E 2341 DOWNING AV WESTCHESTER, IL 60154	03-47-24-W1-0370C.0401 7360 ESTERO BLVD 401 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-401	11
VALERI THOMAS J JR + MARY E 14 RONIT DR WEST TRENTON, NJ 08628	03-47-24-W1-0370C.0402 7360 ESTERO BLVD 402 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-402	11
BRYANT DONALD C + NORMA J 9701 LAS CASAS DR FORT MYERS, FL 33919	03-47-24-W1-0370C.0403 7360 ESTERO BLVD 403 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-403	11
ROBERT K SR + 8913 FOOTVILLE-HANOVER RD JANESVILLE, WI 53548	03-47-24-W1-0370C.0404 7360 ESTERO BLVD 404 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-404	11
HUGHES WALTER T + FLORENCE M 13 NORMANDY DR WAYNE, NJ 07470	03-47-24-W1-0370C.0405 7360 ESTERO BLVD 405 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-405	11
WELLS FARGO BANK NA TR 7255 BAYMEADOWS WAY JACKSONVILLE, FL 32256	03-47-24-W1-0370C.0406 7360 ESTERO BLVD 406 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-406	11
KRALISZ JOHN J + PATRICIA A 193 BEHM RD WEST FALLS, NY 14170	03-47-24-W1-0370C.0407 7360 ESTERO BLVD 407 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-407	11
ROYER HOMER E + GERTRUDE B 921 KEEN RD POTTSTOWN, PA 19465	03-47-24-W1-0370C.0408 7360 ESTERO BLVD 408 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-408	11
DISHNOW RYAN 152 DOGWOOD CT DANIELS, WV 25832	03-47-24-W1-0370C.0501 7360 ESTERO BLVD 501 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-501	11
DANDREA REGINA PER REP + 65 HILLCREST AVE HAMDEN, CT 06514	03-47-24-W1-0370C.0502 7360 ESTERO BLVD 502 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-502	11

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RILEY CHARLES A + ELIZABETH S 923 N NIGHT HERON DR GREEN VALLEY, AZ 85614	03-47-24-W1-0370C.0503 7360 ESTERO BLVD 503 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-503	11
TRENDLER ALLEN J + RITA D 6895 RAIN LILY RD APT 101 NAPLES, FL 34109	03-47-24-W1-0370C.0504 7360 ESTERO BLVD 504 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-504	11
LONCAR RICHARD M TR 1/2 + PMB 109 16970 SAN CARLOS BLVD STE 3 FORT MYERS, FL 33908	03-47-24-W1-0370C.0505 7360 ESTERO BLVD 505 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-505	11
REMINGTON STUART + DALIA V TR 4521 BAY BEACH LN APT 124 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370C.0506 7360 ESTERO BLVD 506 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-506	11
DEPALMA ROBERT J 18519 EVERGREEN RD FORT MYERS, FL 33967	03-47-24-W1-0370C.0507 7360 ESTERO BLVD 507 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-507	11
THIRUMURTHI DHANDAPANI + 4 BROCKHURST CLOSE HALIFAX, NS B3M 3V4 CANADA	03-47-24-W1-0370C.0508 7360 ESTERO BLVD 508 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-508	11
TRENKLER KAREN E 2212 W GIDDINGS CHICAGO, IL 60625	03-47-24-W1-0370C.0601 7360 ESTERO BLVD 601 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-601	11
MCBRIDE MICHAEL JR + KATHLEEN 3534 W OAK HILL DR CRETE, IL 60417	03-47-24-W1-0370C.0602 7360 ESTERO BLVD 602 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-602	11
KING CYLETTIA W 16612 CAMELIA DR FORT MYERS, FL 33908	03-47-24-W1-0370C.0603 7360 ESTERO BLVD 603 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB OR 1357 PG 125 UNIT C-603	11
GIZZI CARMINE + NANCY 2820 SE 22ND AVE CAPE CORAL, FL 33904	03-47-24-W1-0370C.0604 7360 ESTERO BLVD 604 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB OR 1357 PG 125 UNIT C-604	11
DIAZ LAURIE M TR 260 EGRET ST FORT MYERS BEACH, FL 33931	03-47-24-W1-0370C.0605 7360 ESTERO BLVD 605 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-605	11
GROSS PATRICIA B TR 1800 NE 114TH ST APT 709 MIAMI, FL 33181	03-47-24-W1-0370C.0606 7360 ESTERO BLVD 606 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-606	11
GUELLEC KONGAL + DIANE 170 LENELL RD APT 801 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370C.0607 7360 ESTERO BLVD 607 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-607	11
SHEEHAN JOHN J + PEGGY L 10285 BISMARCK PALM WAY # 1013 FORT MYERS, FL 33966	03-47-24-W1-0370C.0608 7360 ESTERO BLVD 608 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-608	11
RIEBEL GRANT M + KELLY M 6758 E SHADOW LAKE DR CIRCLE PINES, MN 55014	03-47-24-W1-0370C.0701 7360 ESTERO BLVD 701 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-701	11
BOVEDA JOSE F + MIRIAM 7830 SW 82ND CT MIAMI, FL 33143	03-47-24-W1-0370C.0702 7360 ESTERO BLVD 702 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-702	11
CHARVAT JANA T 4008 SW 27TH CT CAPE CORAL, FL 33914	03-47-24-W1-0370C.0703 7360 ESTERO BLVD 703 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-703	11
SCHNELLER MICHAEL FERIEN PARK WILLINGEN-USSELIN HAUS 16 UNTER DER EDDE D-34508 WILLINGEN, GERMANY	03-47-24-W1-0370C.0704 7360 ESTERO BLVD 704 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-704	11
PEKOL HAROLD J + CARLENE C 14521 CAVES RD NOVELTY, OH 44072	03-47-24-W1-0370C.0705 7360 ESTERO BLVD 705 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-705	11
SINTON BARBARA J 145 SHANTY BAY RD BARRIE, ON L4M 1E1 CANADA	03-47-24-W1-0370C.0706 7360 ESTERO BLVD 706 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-706	11

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WIELART FREDERIK J + LOUISE A GRABENSTR 16-18 65549 LIMBERG, GERMANY	03-47-24-W1-0370C.0707 7360 ESTERO BLVD 707 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-707	11
MILLER ED + JENNIFER 25809 LAKE DR BAY VILLAGE, OH 44140	03-47-24-W1-0370C.0708 7360 ESTERO BLVD 708 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-708	11
ANTONI RICHARD M + SANDRA A 20 SUNVIEW BLVD FORT MYERS BEACH, FL 33931	03-47-24-W1-0370C.0801 7360 ESTERO BLVD 801 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-801	11
ROONEY ANN D 106 HILLTOP RD SYRACUSE, NY 13215	03-47-24-W1-0370C.0802 7360 ESTERO BLVD 802 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-802	11
SHEDDEN EDWARD C + SHEDDEN M 108 SE 34TH LN CAPE CORAL, FL 33904	03-47-24-W1-0370C.0803 7360 ESTERO BLVD 803 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-803	11
KOPIDLANSKY VICTOR + DIANA TR 494 WASHINGTON CT FORT MYERS BEACH, FL 33931	03-47-24-W1-0370C.0804 7360 ESTERO BLVD 804 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-804	11
URSICK GEORGE J + ARLENE H 1439 BELLE MEADE DR COPLEY, OH 44321	03-47-24-W1-0370C.0805 7360 ESTERO BLVD 805 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-805	11
MCHALE JAMES + JUDY 3738 BRIDGER S DR CARMEL, IN 46033	03-47-24-W1-0370C.0806 7360 ESTERO BLVD 806 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-806	11
ATTERHOLT JAMES D + BRENDA J 7920 EVANSTON RD INDIANAPOLIS, IN 46240	03-47-24-W1-0370C.0807 7360 ESTERO BLVD 807 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-807	11
MCCAULEY MARGARET 40 SEATTLE ST ALLSTON, MA 02134	03-47-24-W1-0370C.0808 7360 ESTERO BLVD 808 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-808	11
RODRIGUEZ VALENTIN A + DOLORES 3651 NW 110THLN CORAL SPRINGS, FL 33065	03-47-24-W1-0370C.0901 7360 ESTERO BLVD 901 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-901	11
ABBOTT ARLETTE V 11945 ALEGRIA ST APT 903 FORT MYERS, FL 33912	03-47-24-W1-0370C.0902 7360 ESTERO BLVD 902 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-902	11
PETTIT MARK ALLEN + KIM MARIE 7 BLUE GOOSE RD NORTH OAKS, MN 55127	03-47-24-W1-0370C.0903 7360 ESTERO BLVD 903 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-903	11
LAMBERT PROPERTIES II LP PO BOX 40228 INDIANAPOLIS, IN 46240	03-47-24-W1-0370C.0904 7360 ESTERO BLVD 904 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-904	11
JORGENSON RICHARD C + JUDITH A 5441 ZUMBRA CIR EXCELSIOR, MN 55331	03-47-24-W1-0370C.0905 7360 ESTERO BLVD 905 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-905	11
ADAMS RICHARD B + HELEN V L/E 667 SPARTINA CT SANIBEL, FL 33957	03-47-24-W1-0370C.0906 7360 ESTERO BLVD 906 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-906	11
ENTRUST IRA SW FLORIDA LLC JAMES A CASON JR PO BOX 600441 JACKSONVILLE, FL 32260	03-47-24-W1-0370C.0907 7360 ESTERO BLVD 907 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-907	11
SALEMI JOSEPH F + KAREN A TR 9307 HARMONY HILL MARENGO, IL 60152	03-47-24-W1-0370C.0908 7360 ESTERO BLVD 908 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-908	11
SCHWARZ BARBARA 1089 E QUEENS WAY NEKOOSA, WI 54457	03-47-24-W1-0370C.1001 7360 ESTERO BLVD 1001 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1001	11
COUTO FERNAND + IRENE 773 ARNOLD ST SUDBURY, ON P3E 6H1 CANADA	03-47-24-W1-0370C.1002 7360 ESTERO BLVD 1002 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1002	11

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TOKARCZYK RAYMOND J + DONNA M 7546 ANGLE RD NORTHVILLE, MI 48168	03-47-24-W1-0370C.1003 7360 ESTERO BLVD 1003 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1003	11
CANGIANO DOLORES D TR + 3152 GRACEFIELD RD #522 SILVER SPRING, MD 20904	03-47-24-W1-0370C.1004 7360 ESTERO BLVD 1004 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1004	11
LUGER 1005C LLC 12505 BRIARWOOD TER MINNETONKA, MN 55343	03-47-24-W1-0370C.1005 7360 ESTERO BLVD 1005 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1005	11
ANNAN DONALD 81 MILL ST 3-2-4 RR # 3 HAWKESTONE, ON L0L 1T0 CANADA	03-47-24-W1-0370C.1006 7360 ESTERO BLVD 1006 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1006	11
BRICKEL BEVERLY A TR 66 NORTH BARRIE ROAD BAD AXE, MI 48413	03-47-24-W1-0370C.1007 7360 ESTERO BLVD 1007 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1007	11
DEIGEL CLARENCE E + MARGARET C 16196 W POPE BLVD PRAIRIEVIEW, IL 60069	03-47-24-W1-0370C.1008 7360 ESTERO BLVD 1008 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1008	11
MCDOUGLE DENNIS + BRENDA 5768 HADDINGTON DR DUBLIN, OH 43017	03-47-24-W1-0370C.1101 7360 ESTERO BLVD 1101 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1101	11
BUCHHEIT TIMOTHY L TR 634 ESTATE CT ELKHORN, WI 53121	03-47-24-W1-0370C.1102 7360 ESTERO BLVD 1102 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1102	11
TREMMEL MICHAEL B + 4910 LAKE PARK LN ACWORTH, GA 30101	03-47-24-W1-0370C.1103 7360 ESTERO BLVD 1103 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1103	11
KOMINEK ROBERT F + JACQUELYN 7954 N BOYDEN RD NORTHFIELD, OH 44067	03-47-24-W1-0370C.1104 7360 ESTERO BLVD 1104 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1104	11
KOZIATEK JEROME P TR 190 BOSTON RD HINCKLEY, OH 44233	03-47-24-W1-0370C.1105 7360 ESTERO BLVD 1105 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1105	11
VANDIVORT KIRBY L + MARIYA G 610 PARK LN CHAMPAIGN, IL 61820	03-47-24-W1-0370C.1106 7360 ESTERO BLVD 1106 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1106	11
MCAULEY KEVIN L + SARA R 2331 8TH AVE ST JAMES CITY, FL 33956	03-47-24-W1-0370C.1107 7360 ESTERO BLVD 1107 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1107	11
GAUM ROBERT E + SHERYL A 1/2 + 133 EMLEYS HILL RD CREAM RIDGE, NJ 08514	03-47-24-W1-0370C.1108 7360 ESTERO BLVD 1108 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-1108	11
MEYERS JOSEPH RICHARD 8575 DIXON RD RIVES JUNCTION, MI 49277	03-47-24-W1-0370C.PH10 7360 ESTERO BLVD PH1 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-PH1	11
HEANEY EUGENE W 27 EVERGREEN CIR NORWOOD, MA 02062	03-47-24-W1-0370C.PH20 7360 ESTERO BLVD PH2 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-PH2	11
ROSS EARL H JR + CYNTHIA H 5658 BALKAN CT SW FORT MYERS, FL 33919	03-47-24-W1-0370C.PH30 7360 ESTERO BLVD PH3 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDOOR 1357 PG 125 UNIT C-PH3	11
WITHAM CARROLL E JR + JOAN N + 1470 CENTER RD MONTPELIER, VT 05602	03-47-24-W1-0370C.PH40 7360 ESTERO BLVD PH4 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-PH4	11
SAULT LEON E JR 7360 ESTERO BLVD PH 5 FORT MYERS BEACH, FL 33931	03-47-24-W1-0370C.PH50 7360 ESTERO BLVD PH5 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-PH5	11
HOUSER F MATTHEW + AUDREY J 208 SKYLINE DR INDIANA, PA 15701	03-47-24-W1-0370C.PH60 7360 ESTERO BLVD PH6 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-PH6	11

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TACHUK RICHARD + NINA 5532 CARRISON DR OTTAWA, ON K4M 1K7 CANADA	03-47-24-W1-0370C.PH70 7360 ESTERO BLVD PH7 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-PH7	11
CASTERTON CHARLES + 311 W WATER DECORAH, IA 52101	03-47-24-W1-0370C.PH80 7360 ESTERO BLVD PH8 FORT MYERS BEACH FL 33931	ESTERO BEACH + TENNIS CLUB CONDO OR 1357 PG 125 UNIT C-PH8	11
GLOSS CONSTRUCTION INC 42 BRENTWOOD LANE APPLETON, WI 54915	03-47-24-W4-02000.1010 7400 ESTERO BLVD 101 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 101 + PKG SP 507	12
BOGS DERALD R TR 10621 TOWER DR ORLAND PARK, IL 60467	03-47-24-W4-02000.1020 7400 ESTERO BLVD 102 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 102 + PKG SP 202	12
CALI GEORGIA A 647 WALDEN WAY DAYTON, OH 45440	03-47-24-W4-02000.1030 7400 ESTERO BLVD 103 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 103	12
RIZZO SANTO A + JOAN M 7400 ESTERO BLVD APT 104 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.1040 7400 ESTERO BLVD 104 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 104 + PKG SP 104 (OPEN)	12
WELCH MONTGOMERY J + LUCY B 18168 LOVELL SPRING LAKE, MI 49456	03-47-24-W4-02000.1050 7400 ESTERO BLVD 105 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 105 + PKG SP 105	12
REAMER STEVEN H + LAURIE S 811 NICODEMUS RD REISTERSTOWN, MD 21136	03-47-24-W4-02000.1060 7400 ESTERO BLVD 106 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 106 + PKG SP 106	12
DODD WILLIAM JR + MARGARET TR 548 PERIWINKLE CT FORT MYERS, FL 33908	03-47-24-W4-02000.1070 7400 ESTERO BLVD 107 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 107 + PKG SP 107	12
WHITE CLARA + MARK 12258 MOCERI DR GRAND BLANC, MI 48439	03-47-24-W4-02000.1080 7400 ESTERO BLVD 108 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 108 + PKG SP 108	12
RYDER-MARSDEN MARY F TR 1615 E CENTRAL RD # 421C ARLINGTON HEIGHTS, IL 60005	03-47-24-W4-02000.1090 7400 ESTERO BLVD 109 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 109 + PKG SP 109	12
GERTZ NORMAN E + SANDRA J 7400 ESTERO BLVD #110 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.1100 7400 ESTERO BLVD 110 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 110 + PKG SP 110	12
KEYES PHILLIP TR PO BOX 128 LABELLE, FL 33975	03-47-24-W4-02000.1110 7400 ESTERO BLVD 111 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 111	12
FEEHAN JOAN E TR 7400 ESTERO BLVD #112 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.1120 7400 ESTERO BLVD 112 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 112 + PKG SP 311	12
HIRSCH CLARENCE A + LINDA N 6737 DOVER RD INDIANAPOLIS, IN 46220	03-47-24-W4-02000.2010 7400 ESTERO BLVD 201 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 201	12
RUMBAUGH RONALD L 2231 SAWMILL RD FORT WAYNE, IN 46845	03-47-24-W4-02000.2020 7400 ESTERO BLVD 202 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 202 + PKG SP 102	12
SUPROSKY JOHN + BETTY 7400 ESTERO BLVD #203 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.2030 7400 ESTERO BLVD 203 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 203 + PKG SP 203	12
GIGLIO ANTHONY + 17 MAYFLOWER TER HAMILTON, OH 45013	03-47-24-W4-02000.2040 7400 ESTERO BLVD 204 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 204 + PKG SP 204 (OPEN)	12
CUMMINGS ALLAN JAMES 184 SHORE CLUB RD HULLARDS, NS B0J 170 CANADA	03-47-24-W4-02000.2050 7400 ESTERO BLVD 205 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 205 + PKG SP 205	12
MALO ARTHUR E + MARILYN S 320 LYNCROFT DR GAHANNA, OH 43230	03-47-24-W4-02000.2060 7400 ESTERO BLVD 206 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 206 + PKG SP 206	12

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CLARK CRAIG M + KIMBERLY A TR 22 EMS LANE C28E WARSAW, IN 46582	03-47-24-W4-02000.2070 7400 ESTERO BLVD 207 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 207 + PKG SP 207	12
COOLEY G RICHARD + 3222 WOODLAND PKWY COLUMBUS, IN 47203	03-47-24-W4-02000.2080 7400 ESTERO BLVD 208 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 208 + PKG SP 208	12
MCGINLEY DOUGLAS C + NANCY A 49 AVERILL PL BRANFORD, CT 06405	03-47-24-W4-02000.2090 7400 ESTERO BLVD 209 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 209 + PKG SP 209	12
TAVERNER WILLIAM R + JOAN D TR 540 CRANBURY RD #201 EAST BRUNSWICK, NJ 08816	03-47-24-W4-02000.2100 7400 ESTERO BLVD 210 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 210 + PKG SP 210	12
BICKNELL BRUCE A + RHONDA J 980 N ARM DR MOUND, MN 55364	03-47-24-W4-02000.2110 7400 ESTERO BLVD 211 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 211 + PKG SP 411	12
FISHER DAVID A + 3640 MANCHESTER RD ANDERSON, IN 46012	03-47-24-W4-02000.2120 7400 ESTERO BLVD 212 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 212	12
LECORCHICK THOMAS R SR + 20053 MARKWARD CROSSING ESTERO, FL 33928	03-47-24-W4-02000.3010 7400 ESTERO BLVD 301 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 301	12
LESAR MICHAEL J + CHERYL P 11350 TERWILLGERS VALLEY LN CINCINNATI, OH 45249	03-47-24-W4-02000.3020 7400 ESTERO BLVD 302 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 302 + PKG SP 302	12
NORBERG DENNIS E 1515 BLACK ROCK TPKE STE 103 FAIRFIELD, CT 06825	03-47-24-W4-02000.3030 7400 ESTERO BLVD 303 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 303 + PKG SP 303	12
BEDNARSKY FRANK V + JOAN CO TR 7400 ESTERO BLVD APT 304 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.3040 7400 ESTERO BLVD 304 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 304 + PKG SP 304 (OPEN)	12
DODD MARGARET ROSE MILLER 548 PERIWINKLE CT FORT MYERS, FL 33908	03-47-24-W4-02000.3050 7400 ESTERO BLVD 305 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 305 + PKG SP 305	12
VANDERHORST LAY R + ANNETTE M 1584 BOULDER LAKE RD MILFORD, MI 48380	03-47-24-W4-02000.3060 7400 ESTERO BLVD 306 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 306 + PKG SP 306	12
RIZZO LAURA A 7890 DICK PRICE RD MANSFIELD, TX 76063	03-47-24-W4-02000.3070 7400 ESTERO BLVD 307 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 307 + PKG SP 307	12
JACOBY ROBERT E TR PO BOX 6013 FORT MYERS BEACH, FL 33932	03-47-24-W4-02000.3080 7400 ESTERO BLVD 308 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 308	12
BELANGER PETER T + BRENDA S 345 HADDON CIR VERNON HILLS, IL 60061	03-47-24-W4-02000.3090 7400 ESTERO BLVD 309 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 309 + PKG SP 309	12
PRESTA JEANINE M 5200 WEST 133RD ST CRESTWOOD, IL 60445	03-47-24-W4-02000.3100 7400 ESTERO BLVD 310 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 310	12
SROKA MIKOLAJ S + JADWIGA 8591 SCENICVIEW DR APT 203 BROADVIEW HEIGHTS, OH 44147	03-47-24-W4-02000.3110 7400 ESTERO BLVD 311 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 311	12
NATHANIEL VERLA I + 16951 SW 152ND AVE MIAMI, FL 33187	03-47-24-W4-02000.3120 7400 ESTERO BLVD 312 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 312	12
SULLIVAN WILLIAM E TR 15658 MILLAR RD CLINTON TOWNSHIP, MI 48036	03-47-24-W4-02000.4010 7400 ESTERO BLVD 401 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 401	12
CAUDILL LAURA M TR 21983 KNUDSEN GROSSE ILE, MI 48138	03-47-24-W4-02000.4020 7400 ESTERO BLVD 402 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 402 + PKG SP 402	12
BECKMAN DOROTHY TR HUNTING TON BANK 7400 ESTERO BLVD #403 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.4030 7400 ESTERO BLVD 403 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 403 + PKG SP 403	12

All data is current at time of printing and subject to change without notice.
THE INFORMATION CONTAINED IN THIS REPORT IS GOVERNED BY FLORIDA STATUTE 119.071
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DOORLEY JANE PO BOX 1466 FAIRBORN, OH 45324	03-47-24-W4-02000.4040 7400 ESTERO BLVD 404 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 404 + PKG SP 404 (OPEN)	12
AKERS DAVID L + SUZANNE R 23724 ARSENAL RD FLAT ROCK, MI 48134	03-47-24-W4-02000.4050 7400 ESTERO BLVD 405 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 405 + PKG SP 405	12
HINTERSCHIED MICHAEL + ALICE 361 CHASTAIN MANOR DR NORCROSS, GA 30071	03-47-24-W4-02000.4060 7400 ESTERO BLVD 406 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 406 + PKG SP 406	12
TORIZZO LLC 7400 ESTERO BLVD #407 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.4070 7400 ESTERO BLVD 407 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 407 + PKG SP 407	12
JOHNSTON ROBERT F TR 7400 ESTERO BLVD #408 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.4080 7400 ESTERO BLVD 408 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 408	12
CEMANE JOSEPH + 2410 WESTLINE DR COLUMBUS, IN 47203	03-47-24-W4-02000.4090 7400 ESTERO BLVD 409 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 409 + PKG SP 409	12
VOIGT JULIANNE K + LON L 6807 3RD ST SE BUFFALO, MN 55313	03-47-24-W4-02000.4100 7400 ESTERO BLVD 410 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 410 + PKG SP 410	12
PURDY GEORGE M + MICHELL A 280 N 72ND ST MAHTOMEDI, MN 55115	03-47-24-W4-02000.4110 7400 ESTERO BLVD 411 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 411	12
MAYER JOSEPH + HEDWIG 7400 ESTERO BLVD #412 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.4120 7400 ESTERO BLVD 412 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 412	12
PALMIERI PETER TR 7400 ESTERO BLVD #501 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.5010 7400 ESTERO BLVD 501 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 501	12
HAMEL MARY JANE TR 3395 HIGHLAND AVE SAINT PAUL, MN 55110	03-47-24-W4-02000.5020 7400 ESTERO BLVD 502 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 502 + PKG SP 502	12
MCKNIGHT HARRY + MARTHA PO BOX 418 CARMAN, MB R0G 0J0 CANADA	03-47-24-W4-02000.5030 7400 ESTERO BLVD 503 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 503 + PKG SP 503	12
HOMAN EVELYN A TR 5330 SPLIT RAIL DAYTON, OH 45429	03-47-24-W4-02000.5040 7400 ESTERO BLVD 504 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 504 + PKG SP 504 (OPEN)	12
TAVERNER WILLIAM R TR + 540 CRANBURY RD APT 201 EAST BRUNSWICK, NJ 08816	03-47-24-W4-02000.5050 7400 ESTERO BLVD 505 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 505 + PKG SP 505 (OPEN)	12
GOLEMBA RONALD T TR + 7400 ESTERO BLVD #506 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.5060 7400 ESTERO BLVD 506 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 506 + PKG SP 506	12
KRAUTHEIM ERIN I + PMB 237 STE 212 24600 S TAMIAHI TRL BONITA SPRINGS, FL 34134	03-47-24-W4-02000.5070 7400 ESTERO BLVD 507 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 507	12
DAHLIN GENE R + CAROL L 21350 EXCELSIOR BLVD EXCELSIOR, MN 55331	03-47-24-W4-02000.5080 7400 ESTERO BLVD 508 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 508 + PKG SP 510	12
BIRON CARMEN D TR 7400 ESTERO BLVD #509 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.5090 7400 ESTERO BLVD 509 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 509 + PKG SP 509	12
HEIDELBERG HOMES INC 7624 E LAKEWOOD DR 92 ROANOKE, IN 46783	03-47-24-W4-02000.5100 7400 ESTERO BLVD 510 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 510	12
NASH DENNIS A + ELIZABETH R 20260 RIVERBROOKE RUN ESTERO, FL 33928	03-47-24-W4-02000.5110 7400 ESTERO BLVD 511 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 511 + PKG SP 511	12

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JURKOVICH GEORGE A JR + 5075 SWEET WILLIAM CIR NW CANTON, OH 44718	03-47-24-W4-02000.5120 7400 ESTERO BLVD 512 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 512	12
YEOMANS FAMILY LLC PO BOX 124 GENESEE DEPOT, WI 53127	03-47-24-W4-02000.6010 7400 ESTERO BLVD 601 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 601	12
THOMAS ROBERT I + CHARISSE 5611 HARBORAGE DR FORT MYERS, FL 33908	03-47-24-W4-02000.6020 7400 ESTERO BLVD 602 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 602 + PKG SP 602	12
WATERHOUSE BARBARA A TR + 126 HAMPTON MEADOWS HAMPTON, NH 03842	03-47-24-W4-02000.6030 7400 ESTERO BLVD 603 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 603 + PKG SP 603	12
LANDOLFI MICHAEL + ROSANNA 45 LINDSAY LN CRANSTON, RI 02921	03-47-24-W4-02000.6040 7400 ESTERO BLVD 604 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 604 + PKG SP 604 (OPEN)	12
BARRETT JAMES + CONSTANCE 42 WILSON TER STATEN ISLAND, NY 10304	03-47-24-W4-02000.6050 7400 ESTERO BLVD 605 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 605	12
DIAMOND BARBARA F TR 7400 ESTERO BLVD #606 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.6060 7400 ESTERO BLVD 606 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 606 + PKG SP 606	12
BINS GERALD F TR + 7400 ESTERO BLVD #607 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.6070 7400 ESTERO BLVD 607 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 607 + PKG SP 607	12
REDDER CHRISTIAN W + KIMBERLY 600 PINEGROVE AVE ROCHESTER, NY 14617	03-47-24-W4-02000.6080 7400 ESTERO BLVD 608 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 608 + PKG SP 105	12
PRESTA JEANINE M 5200 W 133RD ST CRESTWOOD, IL 60445	03-47-24-W4-02000.6090 7400 ESTERO BLVD 609 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 609 + PKG SP 609	12
TOPER ROSALYN I 7400 ESTERO BLVD #610 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.6100 7400 ESTERO BLVD 610 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 610 + PKG SP 610	12
HARRELSON EILEEN C + 1121 CORLEY ST LEXINGTON, SC 29072	03-47-24-W4-02000.6110 7400 ESTERO BLVD 611 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 611 + PKG SP 611	12
RUCKER LISA M TR 7400 ESTERO BLVD # 227 FORT MYERS BEACH, FL 33931	03-47-24-W4-02000.6120 7400 ESTERO BLVD 612 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-1 OR 520 PG 750 APT 612 + PKG SP 310	12
GUERRERO JOHN J JR + SANDRA R 7400 ESTERO BLVD #123 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.1230 7400 ESTERO BLVD 123 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 123	13
DUFFY EUGENE F 7400 ESTERO BLVD # 124 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.1240 7400 ESTERO BLVD 124 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 124	13
VANBEEK JOHAN 575 PLAINS RD EAST BURLINGTON, ON L7T 2E6 CANADA	03-47-24-W4-02100.1250 7400 ESTERO BLVD 125 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 125	13
LAVERDIERE RAYMOND TR + 7400 ESTERO BLVD #126 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.1260 7400 ESTERO BLVD 126 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 126	13
CELENZA MICHELE E 1904 PHILADELPHIA AV NORTHERN CAMBRIA, PA 15714	03-47-24-W4-02100.1270 7400 ESTERO BLVD 127 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 127	13
BOWERS CHERYL TR 1800 CONGRESS LAKE RD MOGADORE, OH 44260	03-47-24-W4-02100.1280 7400 ESTERO BLVD 128 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 128	13
THOMPSON DANIEL J + 4075 CLARE BRIDGE LN BROOKFIELD, WI 53005	03-47-24-W4-02100.1290 7400 ESTERO BLVD 129 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 129	13
SHIPMAN FRANK M JR + 1624 LOC CANOAS RD SANTA BARBARA, CA 93105	03-47-24-W4-02100.1300 7400 ESTERO BLVD 130 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 130	13

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WIZARD REALTY TRUST PO BOX 1825 MATTAPOISETT, MA 02739	03-47-24-W4-02100.1310 7400 ESTERO BLVD 131 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 131	13
STEWART-MAGLEY LAURIE J + 1514 S HADLEY RD FORT WAYNE, IN 46804	03-47-24-W4-02100.1320 7400 ESTERO BLVD 132 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 132	13
KASSEWITZ PHILLIP I + CONNIE L 26 SANDSTONE CT LECLAIRE, IA 52753	03-47-24-W4-02100.2230 7400 ESTERO BLVD 223 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 223	13
HOLDEN DAVID P + JANET 28 BARN HILL LN CHATHAM, MA 02633	03-47-24-W4-02100.2240 7400 ESTERO BLVD 224 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 224	13
LEE JANET L L/E 7400 ESTERO BLVD #225 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.2250 7400 ESTERO BLVD 225 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 225	13
STACK EUGENE C 7400 ESTERO BLVD #226 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.2260 7400 ESTERO BLVD 226 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 226	13
RUCKER ALLEN E + DONNA S TR 33 DODGE HILL RD SUTTON, MA 01590	03-47-24-W4-02100.2270 7400 ESTERO BLVD 227 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 227	13
POLERESKY MARLENE J 21221 W WALNUT LN APT C PLAINFIELD, IL 60544	03-47-24-W4-02100.2280 7400 ESTERO BLVD 228 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 228	13
PODKOWA MICHAEL S TR 964 RIDGE RD HINCKLEY, OH 44233	03-47-24-W4-02100.2290 7400 ESTERO BLVD 229 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 229	13
FILLMAN KATHERINE 7400 ESTERO BLVD #230 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.2300 7400 ESTERO BLVD 230 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 230	13
MAYNARD RONALD A + 326 GLENBROOK DR MIDLAND, ON L4R 5G4 CANADA	03-47-24-W4-02100.2310 7400 ESTERO BLVD 231 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 231	13
CURRIE GORDON E + CATHERINE J 3248 DEVONSHIRE RD RR 1 CAMLACHIE, ON N0N 1E0 CANADA	03-47-24-W4-02100.2320 7400 ESTERO BLVD 232 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 232	13
MCCABE MARY LOUISE TR + 1022 BARCARMIL WAY NAPLES, FL 34110	03-47-24-W4-02100.3230 7400 ESTERO BLVD 323 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 323	13
BLASER THOMAS + 13617 GLASGOW LN APPLE VALLEY, MN 55124	03-47-24-W4-02100.3240 7400 ESTERO BLVD 324 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 324	13
HEYES GRAHAM + ANNE BROADLANDS RINGWOOD ROAD THREE LEGGED CROSS WIMBORNE BH21 6RE, UNITED KINGDOM	03-47-24-W4-02100.3250 7400 ESTERO BLVD 325 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 325	13
HINTERSCHIED DAVID M 7400 ESTERO BLVD #326 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.3260 7400 ESTERO BLVD 326 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 326	13
CAUDILL LAURA M TR 21983 KNUDSEN GROSSE ILE, MI 48138	03-47-24-W4-02100.3270 7400 ESTERO BLVD 327 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 327	13
HINTERSCHIED MICHAEL + ALICE 361 CHASTAIN MANOR DR NORCROSS, GA 30071	03-47-24-W4-02100.3280 7400 ESTERO BLVD 328 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 328	13
VANSOMEREN CATHLEEN H 5922 N MULLIGAN AVE CHICAGO, IL 60646	03-47-24-W4-02100.3290 7400 ESTERO BLVD 329 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 329	13
NORBERG DENNIS 1515 BLACK ROCK TPKE STE 103 FAIRFIELD, CT 06825	03-47-24-W4-02100.3300 7400 ESTERO BLVD 330 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 330	13

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CORNEGLIO GARY L TR + 405 N EAST ST GARDNER, IL 60424	03-47-24-W4-02100.3310 7400 ESTERO BLVD 331 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 331	13
TAYON TIMOTHY J + ROBYNN L 12267 COLLIERS RESERVE DR NAPLES, FL 34110	03-47-24-W4-02100.3320 7400 ESTERO BLVD 332 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 332	13
MCCABE MARY LOUISE TR + 1022 BARCARMIL WAY NAPLES, FL 34110	03-47-24-W4-02100.4230 7400 ESTERO BLVD 423 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 423	13
MCCABE MARY LOUISE TR + 1022 BARCARMIL WAY NAPLES, FL 34110	03-47-24-W4-02100.4240 7400 ESTERO BLVD 424 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 424	13
RATHS JON + IVY + 1950 IVY LN WHITE BEAR LAKE, MN 55110	03-47-24-W4-02100.4250 7400 ESTERO BLVD 425 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 425	13
CHATTIN MARTHA TR 4825 CAVENDISH RD INDIANAPOLIS, IN 46220	03-47-24-W4-02100.4260 7400 ESTERO BLVD 426 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 426	13
SPEICHER R C + JUDITH L 8135 LAKESHORE BLVD MENTOR, OH 44060	03-47-24-W4-02100.4270 7400 ESTERO BLVD 427 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 427	13
DEWITTE MARCEL J TR + 7400 ESTERO BLVD #428 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.4280 7400 ESTERO BLVD 428 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 428	13
KILGALLON KEVIN + SUSAN P 78 CAMBRIDGE DR GLENMONT, NY 12077	03-47-24-W4-02100.4290 7400 ESTERO BLVD 429 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 429	13
CROSSLAND BRIAN + 5930 DODDS DR BETTENDORF, IA 52722	03-47-24-W4-02100.4300 7400 ESTERO BLVD 430 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 430	13
JOBS OSCAR + BARBARA 435 VILLAGE ST BRISTOL, CT 06010	03-47-24-W4-02100.4310 7400 ESTERO BLVD 431 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND 1-2 OR 603 PG 862 APT 431	13
RUSSELL RICHARD A + JUDITH A 6735 SWISSWAY DR DAYTON, OH 45459	03-47-24-W4-02100.4320 7400 ESTERO BLVD 432 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 432	13
SCARIMBOLO VITO + FRANCES 7400 ESTERO BLVD #523 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.5230 7400 ESTERO BLVD 523 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 523	13
SWEENEY LAWRENCE J + 7500 ESTERO BLVD #201 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.5240 7400 ESTERO BLVD 524 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 524	13
ALBANESE MICHAEL D TR + 3112 BRANDON RD COLUMBUS, OH 43221	03-47-24-W4-02100.5250 7400 ESTERO BLVD 525 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 525	13
HALL PETER D 1/2 INT + 455 OLD HOLLOW RD SPERRYVILLE, VA 22740	03-47-24-W4-02100.5260 7400 ESTERO BLVD 526 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 526	13
ANDERSON JANICE K TR 5111 HAMPDEN LN BETHESDA, MD 20814	03-47-24-W4-02100.5270 7400 ESTERO BLVD 527 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 527	13
NORBERG DENNIS 1515 BLACK ROCK TPKE FAIRFIELD, CT 06825	03-47-24-W4-02100.5280 7400 ESTERO BLVD 528 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 528	13
ANDERSON ROBERT L+ SANDRA T TR 2363 GRANDFATHER MTN SPRING HILL, FL 34606	03-47-24-W4-02100.5290 7400 ESTERO BLVD 529 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 529	13
LOOMIS CAROL M 229 CAMPBELL CT GENEVA, IL 60134	03-47-24-W4-02100.5300 7400 ESTERO BLVD 530 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 530	13
OHERN JAMES M TR PO BOX 627 KIMBALL, MN 55353	03-47-24-W4-02100.5310 7400 ESTERO BLVD 531 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 531	13

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MINCH ELLEN 104 COUNTRY LN WESTBROOK, ME 04092	03-47-24-W4-02100.5320 7400 ESTERO BLVD 532 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 532	13
BEATTIE ELLA M TR 4220 CHAUCER LN COLUMBUS, OH 43220	03-47-24-W4-02100.6230 7400 ESTERO BLVD 623 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 623	13
OGREN GERALD + JOAN 9811 S 64TH ST LINCOLN, NE 68516	03-47-24-W4-02100.6240 7400 ESTERO BLVD 624 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 624	13
SNAPP RAY T + CONSTANCE E 1104 CRAWFORD DR BEDFORD, IN 47421	03-47-24-W4-02100.6250 7400 ESTERO BLVD 625 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 625	13
SPELLMAN JOHN R + KATHRYN R + 245 MCCLELLANDTOWN RD UNIONTOWN, PA 15401	03-47-24-W4-02100.6260 7400 ESTERO BLVD 626 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 626	13
PROW DONALD L + BARBARA D 2033 GLENDALE HILLS DR NE ROCHESTER, MN 55906	03-47-24-W4-02100.6270 7400 ESTERO BLVD 627 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 627	13
HEIN C EDMUND + JOYCE E 7400 ESTERO BLVD #628 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.6280 7400 ESTERO BLVD 628 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 628	13
GERKEN JOHN L + PEARL S TR 7400 ESTERO BLVD # 629 FORT MYERS BEACH, FL 33931	03-47-24-W4-02100.6290 7400 ESTERO BLVD 629 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 629	13
LANGAN WILLIAM P + DONNA E 1 BELMONT RD APT 542 WEST HARWICH, MA 02671	03-47-24-W4-02100.6300 7400 ESTERO BLVD 630 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 630	13
JOBS OSCAR + BARBARA 435 VILLAGE ST BRISTOL, CT 06010	03-47-24-W4-02100.6310 7400 ESTERO BLVD 631 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 631	13
RUSSELL RICHARD A + JUDITH A + 545 KENSINGTON DR HEATH, OH 43056	03-47-24-W4-02100.6320 7400 ESTERO BLVD 632 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-2 OR 603 PG 862 APT 632	13
RISSONE ROBERT + DONNA 305 HARBOR HILL DR ROCHESTER, NY 14617	03-47-24-W4-02200.1130 7400 ESTERO BLVD 113 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 113	14
JONES SUE ANNE TR 7 ROBIN HILL JACKSON, OH 45640	03-47-24-W4-02200.1140 7400 ESTERO BLVD 114 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 114	14
MANCINI MARISA + 43 TIMBER LN METHUEN, MA 01844	03-47-24-W4-02200.1150 7400 ESTERO BLVD 115 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 115	14
SWARTZ TRUST KEN SWARTZ III 10581 DEAL RD NORTH FORT MYERS, FL 33917	03-47-24-W4-02200.1160 7400 ESTERO BLVD 116 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 116	14
DENMAR PROPERTIES LLC 1502 SAINT CHARLES ST WAUWATOSA, WI 53213	03-47-24-W4-02200.1170 7400 ESTERO BLVD 117 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 117	14
SCOTT KEVIN + VALERIE ANN 173 NEWTON TPKE WESTPORT, CT 06880	03-47-24-W4-02200.1180 7400 ESTERO BLVD 118 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 118	14
KROSKE ALAN M 39303 LAKESHORE DR HARRISON TOWNSHIP, MI 48045	03-47-24-W4-02200.1190 7400 ESTERO BLVD 119 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 119	14
IANTRIA JOSEPH M JR + PENNY J 3716 LAWRENCE DR NAPERVILLE, IL 60564	03-47-24-W4-02200.1200 7400 ESTERO BLVD 120 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 120	14
SLANE JANNETTE M 286 BEAR WOODS DR POWELL, OH 43065	03-47-24-W4-02200.2130 7400 ESTERO BLVD 213 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 213	14
HINMAN GRACE F TR 2419 N LEMA DR MESA, AZ 85215	03-47-24-W4-02200.2140 7400 ESTERO BLVD 214 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 214	14

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HILBRANDT THERESA S + DAVID A 4131 AUTUMN RDG SAGINAW, MI 48603	03-47-24-W4-02200.2150 7400 ESTERO BLVD 215 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 215	14
RISSONE ROBERT + DONNA 305 HARBOR HILL DR ROCHESTER, NY 14617	03-47-24-W4-02200.2160 7400 ESTERO BLVD 216 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 216	14
CARROLL ALICE J 7400 ESTERO BLVD #217 FORT MYERS BEACH, FL 33931	03-47-24-W4-02200.2170 7400 ESTERO BLVD 217 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 217	14
DITONTO JOSEPH A + THERESA 7400 ESTERO BLVD #218 FORT MYERS BEACH, FL 33931	03-47-24-W4-02200.2180 7400 ESTERO BLVD 218 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 218	14
CUDE LARRY J + CAROL J 2546 E IDAHO AVE MAPLEWOOD, MN 55119	03-47-24-W4-02200.2190 7400 ESTERO BLVD 219 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 219	14
NORRIS RICHARD G + PATRICIA A 3813 W BLUFFS RD SPRINGFIELD, IL 62711	03-47-24-W4-02200.2200 7400 ESTERO BLVD 220 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 220	14
ELLYATT MARY L + 4531 BAY BEACH LN APT 231 FORT MYERS BEACH, FL 33931	03-47-24-W4-02200.3130 7400 ESTERO BLVD 313 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 313	14
COMERICA BANK AND TRUST TR INDUSTRY CONSULTING GROUP INC PO BOX 810490 DALLAS, TX 75381	03-47-24-W4-02200.3140 7400 ESTERO BLVD 314 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 314	14
MORRELL GARY M + JANICE K 73 RUTHERFORD PL KEARNY, NJ 07032	03-47-24-W4-02200.3150 7400 ESTERO BLVD 315 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 315	14
KRIZEK JEROME N + MARY BETH 6438 S GLENCOE CT CENTENNIAL, CO 80121	03-47-24-W4-02200.3160 7400 ESTERO BLVD 316 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 316	14
PRESTA LOUIS + JEANINE M 5200 W 133RD ST CRESTWOOD, IL 60445	03-47-24-W4-02200.3170 7400 ESTERO BLVD 317 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 317	14
LESTER EUGENE E JR + DOROTHEA 41 MILL HILL LN EAST HAMPTON, NY 11937	03-47-24-W4-02200.3180 7400 ESTERO BLVD 318 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 318	14
STEINWEBER MARY E 7400 ESTERO BLVD # 319 FORT MYERS BEACH, FL 33931	03-47-24-W4-02200.3190 7400 ESTERO BLVD 319 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 319	14
GIAMMARINO THERESA E TR 699 W FINGERBOARD RD STATEN ISLAND, NY 10305	03-47-24-W4-02200.3200 7400 ESTERO BLVD 320 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 320	14
ESTILL-WOODRELL KATHERINE 440 LOCUST WEST PLAINS, MO 65775	03-47-24-W4-02200.4130 7400 ESTERO BLVD 413 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 413	14
VIERZBA KATHRYN M + 10520 MISSISSIPPI CIR MINNEAPOLIS, MN 55443	03-47-24-W4-02200.4140 7400 ESTERO BLVD 414 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 414	14
MULLINIX LUCILLE 1/3 TR + 4811 ISLAND POND CT APT 902 BONITA SPRINGS, FL 34134	03-47-24-W4-02200.4150 7400 ESTERO BLVD 415 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 415	14
DATTORRE FERNANDO A 17 RESERVOIR ST METHUEN, MA 01844	03-47-24-W4-02200.4160 7400 ESTERO BLVD 416 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 416	14
RIBLEY THOMAS J + JULIA H PO BOX 895 WINDERMERE, FL 34786	03-47-24-W4-02200.4170 7400 ESTERO BLVD 417 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 417	14
117 REPUBLIC LTD PARTNERSHIP PO BOX 393 MINOOKA, IL 60447	03-47-24-W4-02200.4180 7400 ESTERO BLVD 418 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 418	14
BEDNARSKY FRANK JR 3666 10TH STREET WAYLAND, MI 49348	03-47-24-W4-02200.4190 7400 ESTERO BLVD 419 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 419	14

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BIORN LUVERNE N + JEAN L CO-TR 7400-420 ESTERO BLVD FORT MYERS BEACH, FL 33931	03-47-24-W4-02200.4200 7400 ESTERO BLVD 420 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 420	14
MILLER R H + ALMYRA RUTH 7400 ESTERO BLVD #513 FORT MYERS BEACH, FL 33931	03-47-24-W4-02200.5130 7400 ESTERO BLVD 513 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 513	14
839124 ONTARIO LIMITED 1458 SYLVAN CT SARNIA, ON N7S 2K9 CANADA	03-47-24-W4-02200.5140 7400 ESTERO BLVD 514 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 514	14
MARINELLI JOSEPH R EST + 7400 ESTERO BLVD #515 FORT MYERS BEACH, FL 33931	03-47-24-W4-02200.5150 7400 ESTERO BLVD 515 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 515	14
DUNN CATHY 4450 MIDDLE RD COLUMBUS, IN 47201	03-47-24-W4-02200.5160 7400 ESTERO BLVD 516 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 516	14
YOUNG WILLIS I + DOROTHEE A 208 GRASON VISTA DR QUEENSTOWN, MD 21658	03-47-24-W4-02200.5170 7400 ESTERO BLVD 517 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 517	14
BRADLEY HELEN K L/E 27300 VALOIS DR BONITA SPRINGS, FL 34135	03-47-24-W4-02200.5180 7400 ESTERO BLVD 518 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 518	14
CAUDILL LAURA M TR 21983 KNUDSEN GROSSE ILE, MI 48138	03-47-24-W4-02200.5190 7400 ESTERO BLVD 519 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 519	14
BANICKI MARIE C TR 7400 ESTERO BLVD #520 FORT MYERS BEACH, FL 33931	03-47-24-W4-02200.5200 7400 ESTERO BLVD 520 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 520	14
VERCELLI ENTERPRISES LLC 21364 WOODLAND WAY SHOREWOOD, IL 60404	03-47-24-W4-02200.6130 7400 ESTERO BLVD 613 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 613	14
LEROY JOHN L + MARYELLEN 4121 BISHOP ST DETROIT, MI 48224	03-47-24-W4-02200.6140 7400 ESTERO BLVD 614 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 614	14
FISH RONALD W + CAROL A 721 TAHOE TRL ELGIN, IL 60124	03-47-24-W4-02200.6150 7400 ESTERO BLVD 615 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 615	14
NELSON STEVEN K + TINA M 32466 BUTCHER LN WILMINGTON, IL 60481	03-47-24-W4-02200.6160 7400 ESTERO BLVD 616 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 616	14
PENCE PAMELA S TR 1463 REYNARD DR FORT MYERS, FL 33919	03-47-24-W4-02200.6170 7400 ESTERO BLVD 617 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 617	14
LAVIN JEFFREY M + MARGARET M 4202 SEELEY AVE DOWNERS GROVE, IL 60515	03-47-24-W4-02200.6180 7400 ESTERO BLVD 618 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 618	14
MILES ROBERT G + 6665 ROBERTS RD HILLIARD, OH 43026	03-47-24-W4-02200.6190 7400 ESTERO BLVD 619 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 619	14
MILLER JOYCE FAYE TR 7400 ESTERO BLVD #620 FORT MYERS BEACH, FL 33931	03-47-24-W4-02200.6200 7400 ESTERO BLVD 620 FORT MYERS BEACH FL 33931	LEONARDO ARMS B C COND U-3 OR 701 PG 203 APT 620	14
EQUITY TRUST COMPANY 225 BURNS RD ELYRIA, OH 44035	03-47-24-W4-04400.0101 7500 ESTERO BLVD 101 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 101 /GAR#16	15
HELMSTADT WILLIAM + 1 ELM ST APT 3D TUCKAHOE, NY 10707	03-47-24-W4-04400.0102 7500 ESTERO BLVD 102 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 102	15
LOFFRENO REAL ESTATE INC 2100 ESTERO BLVD FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0103 7500 ESTERO BLVD 103 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 103	15
SCHULTZ KEVIN + GWEN 6948 HOWARD LN EDEN PRAIRIE, MN 55346	03-47-24-W4-04400.0104 7500 ESTERO BLVD 104 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 104	15

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ELLER ALVAN L + 3116 WATERMAN DR SE HAMPTON COVE, AL 35763	03-47-24-W4-04400.0105 7500 ESTERO BLVD 105 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 105	15
KOY RONALD W TR + 994 EASTSHORE DR FOX LAKE, IL 60020	03-47-24-W4-04400.0106 7500 ESTERO BLVD 106 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 106	15
DELISIO PATRICIA W TR KATHRYN WALKER 107 WHITE ROSE MOUNTAIN LN SPERRYVILLE, VA 22740	03-47-24-W4-04400.0107 7500 ESTERO BLVD 107 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 107 / GAR #18	15
SWEENEY LAWRENCE J JR 7500 ESTERO BLVD 201 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0201 7500 ESTERO BLVD 201 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 201/GAR #21	15
BECK WILLIAM F TR 2611 E SAND RD PORT CLINTON, OH 43452	03-47-24-W4-04400.0202 7500 ESTERO BLVD 202 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 202/GAR #23	15
BECK LARRY + LINDA L 2271 AUGUSTA DR FREMONT, OH 43420	03-47-24-W4-04400.0203 7500 ESTERO BLVD 203 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 203	15
HILGENBERG + ASSOCIATES INC 1620 S ASHLAND AVE GREEN BAY, WI 54304	03-47-24-W4-04400.0204 7500 ESTERO BLVD 204 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 204	15
LAURIN FREDERICK F + BARBARA L 7500 ESTERO BLVD #205 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0205 7500 ESTERO BLVD 205 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 205	15
MASON DAVID A TR 423 BIDDLE AVE WYANDOTTE, MI 48192	03-47-24-W4-04400.0206 7500 ESTERO BLVD 206 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 206/GAR #8	15
GOELZER JEFFREY A + MARY B PO BOX 378 PLYMOUTH, WI 53073	03-47-24-W4-04400.0207 7500 ESTERO BLVD 207 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 207	15
KROHN EVELYN M 166 COTTONWOOD PL NEW LENOX, IL 60451	03-47-24-W4-04400.0301 7500 ESTERO BLVD 301 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 301	15
RIORDAN EUGENE M TR 7500 ESTERO BLVD #302 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0302 7500 ESTERO BLVD 302 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 302	15
HAUSMAN JOHN H JR + SUSAN M 8132 LAUREL PARK LN EAST AMHERST, NY 14051	03-47-24-W4-04400.0303 7500 ESTERO BLVD 303 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 303	15
NEAL DENNIS + CAROLYN 5619 S BEEBE DR ROCHELLE, IL 61068	03-47-24-W4-04400.0304 7500 ESTERO BLVD 304 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 304	15
CURRAN PATRICK M + CHEYENNE H 2557 OUR LAND ACRES MILFORD, MI 48381	03-47-24-W4-04400.0305 7500 ESTERO BLVD 305 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 305	15
VALTHOUR JAMES V + JUDITH 7500 ESTERO BLVD #306 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0306 7500 ESTERO BLVD 306 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 306 + GARAGE 7	15
SAWYER WILLIAM J + PATRICIA J 7500 ESTERO BLVD #307 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0307 7500 ESTERO BLVD 307 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 307 + XF(GAR#4)	15
VERCELLI LYNN MARIE TR 7500 ESTERO BLVD #401 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0401 7500 ESTERO BLVD 401 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 401	15
KOPF W LAWRENCE + PATRICIA J 3546 HERSCHEL VIEW ST CINCINNATI, OH 45208	03-47-24-W4-04400.0402 7500 ESTERO BLVD 402 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 402/GAR#17	15
FERNANDES ANTHONY P + ELLEN M 7500 ESTERO BLVD APT 403 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0403 7500 ESTERO BLVD 403 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 403	15
WELENSKY C FRED TR 1265 BEACON ST STE 703 BROOKLINE, MA 02446	03-47-24-W4-04400.0404 7500 ESTERO BLVD 404 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 404	15

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HERINGHAUS MARY B TR 3-B MEWS RD LIMA, OH 45805	03-47-24-W4-04400.0405 7500 ESTERO BLVD 405 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 405 + GAR #5	15
BONDI THOMAS L TR 8460 W OAK AVE NILES, IL 60714	03-47-24-W4-04400.0406 7500 ESTERO BLVD 406 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 406	15
MAHAR DAVID J + JOAN H 4172 E LAKE RD WILSON, NY 14172	03-47-24-W4-04400.0407 7500 ESTERO BLVD 407 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 407	15
HARTUNG MARK H TR + 1504 STONY CREEK DR ROCHESTER, MI 48307	03-47-24-W4-04400.0501 7500 ESTERO BLVD 501 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 501	15
MOSES BETTY J TR 45 S OLD ORCHARD AVE APT 323 SAINT LOUIS, MO 63119	03-47-24-W4-04400.0502 7500 ESTERO BLVD 502 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 502	15
BOHANON H CHARLES + BARBARA TR 7500 ESTERO BLVD #503 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0503 7500 ESTERO BLVD 503 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 503	15
CONOVER LYNN M TR + 22098 HEATHERIDGE LN NORTHVILLE, MI 48167	03-47-24-W4-04400.0504 7500 ESTERO BLVD 504 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 504	15
MARTIN ALICE H 6115 TIMBER RIDGE CT INDIAN HEAD PARK, IL 60525	03-47-24-W4-04400.0505 7500 ESTERO BLVD 505 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 505	15
LUNDSGAARD STEPHANIE K 2950 DEAN PKWY APT 1003 MINNEAPOLIS, MN 55416	03-47-24-W4-04400.0506 7500 ESTERO BLVD 506 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 506	15
VERCELLI LODI E 945 E JOHN ST WILMINGTON, IL 60481	03-47-24-W4-04400.0507 7500 ESTERO BLVD 507 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 507 + GAR #2 + 3	15
PASCHEN PATRICIA TR 136 SHORE DR PORTAGE, IN 46368	03-47-24-W4-04400.0601 7500 ESTERO BLVD 601 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 601	15
LALL KAILASH C + SHASHI 24 HILLSBORO DR ORCHARD PARK, NY 14127	03-47-24-W4-04400.0602 7500 ESTERO BLVD 602 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 602	15
FINNCO LLC 7500 ESTERO BLVD # 1006 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0603 7500 ESTERO BLVD 603 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 603	15
PARRISH GREGORY + KAREN 11809 EAGLE VIEW CT FORT WAYNE, IN 46814	03-47-24-W4-04400.0604 7500 ESTERO BLVD 604 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 604	15
LEWIS DONALD J + NANCY JO 4544 N MENARD AVE CHICAGO, IL 60630	03-47-24-W4-04400.0605 7500 ESTERO BLVD 605 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 605	15
PERGOLI MARK W+ GAYLE CRABTREE 2476 WINTHROP CT MENDOTA HEIGHTS, MN 55120	03-47-24-W4-04400.0606 7500 ESTERO BLVD 606 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 OG 1521 UNIT 606	15
MY PEGASUS LLC N6604 RIVERVIEW RD PLYMOUTH, WI 53073	03-47-24-W4-04400.0607 7500 ESTERO BLVD 607 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 607	15
NITSCHKE WILLY F TR 1/2 INT + 5069 BELMONTE DR ROCHESTER, MI 48306	03-47-24-W4-04400.0701 7500 ESTERO BLVD 701 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 701/GAR#22	15
SCHILINSKE RAYMOND + GRACE I 7384 MEADOWRIDGE CIR W BLOOMFIELD, MI 48322	03-47-24-W4-04400.0702 7500 ESTERO BLVD 702 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 702	15
HILGENBERG PROPERTIES LLP PO BOX 555 SHAWANO, WI 54166	03-47-24-W4-04400.0703 7500 ESTERO BLVD 703 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 703	15
PFLAUMER PHILLIP F + KAREN K 2770 TIMBERMAN RD HAMILTON, OH 45013	03-47-24-W4-04400.0704 7500 ESTERO BLVD 704 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 704	15

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GRANTHAM MARJORIE ANN 3033 DAUM CT CARMEL, IN 46033	03-47-24-W4-04400.0705 7500 ESTERO BLVD 705 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 705/GAR # 19	15
MAGUIRE MICHAEL + MARY FIRST UNION TAX #8154472 215 E 235TH ST BRONX, NY 10470	03-47-24-W4-04400.0706 7500 ESTERO BLVD 706 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 706	15
KHAYAT CHRISTIAN M + TWYLA D 36938 KIMBERWICK LN WADSWORTH, IL 60083	03-47-24-W4-04400.0707 7500 ESTERO BLVD 707 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 707/GAR#14	15
GULICK HELEN M L/E 7500 ESTERO BLVD APT 801 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0801 7500 ESTERO BLVD 801 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 801/GAR#20	15
MICHELE M YANEK FAMILY TRUST 749 THORNBERRY TRL NORTH LIMA, OH 44452	03-47-24-W4-04400.0802 7500 ESTERO BLVD 802 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 802	15
PARRAN MINNIE L 8000 HARBOR AV NE TUSCALOOSA, AL 35406	03-47-24-W4-04400.0803 7500 ESTERO BLVD 803 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 803	15
MCCARTHY AUDREY A + 2472 BROWNLEE DR TOLEDO, OH 43615	03-47-24-W4-04400.0804 7500 ESTERO BLVD 804 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 804	15
DIANCIN RENATO CLAR TR + PO BOX 558 WAUTOMA, WI 54982	03-47-24-W4-04400.0805 7500 ESTERO BLVD 805 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 805	15
WEDDLE ROBERT G + ANN A 2533 TURNING LEAF LN CARMEL, IN 46032	03-47-24-W4-04400.0806 7500 ESTERO BLVD 806 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 806	15
GENTILE CATHERINE M TR THOMAS GENTILE 51 STRYKER CT BRIDGEWATER, NJ 08807	03-47-24-W4-04400.0807 7500 ESTERO BLVD 807 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 807/GAR#15	15
IDEN RAY JR TR + 640 CHURCH RD ELGIN, IL 60123	03-47-24-W4-04400.0901 7500 ESTERO BLVD 901 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 901/GAR#6	15
HETTERICH HEINZ KEESBURGSTRASSE 13A 97074 WUERZBURG, GERMANY	03-47-24-W4-04400.0902 7500 ESTERO BLVD 902 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 902	15
STUBBS ROY F TR + 6505 FRUITLAND RD NE SALEM, OR 97317	03-47-24-W4-04400.0903 7500 ESTERO BLVD 903 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 903	15
ROBINSON H LUIS + LETHA I 1812 LAKESHORE CIR FORT COLLINS, CO 80525	03-47-24-W4-04400.0904 7500 ESTERO BLVD 904 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 904	15
DARSEY LEONARD S + JUDITH A 13913 BENTLY CIR FORT MYERS, FL 33912	03-47-24-W4-04400.0905 7500 ESTERO BLVD 905 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 905	15
POPE THOMAS T 13008 HARMON RD PICKERINGTON, OH 43147	03-47-24-W4-04400.0906 7500 ESTERO BLVD 906 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 906	15
HILL RAYMOND C TR + 7500 ESTERO BLVD #907 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.0907 7500 ESTERO BLVD 907 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 907	15
SHELTON TRUST 7500 ESTERO BLVD #1001 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.1001 7500 ESTERO BLVD 1001 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1001	15
BALDO JOHN + JUNE 7500 ESTERO BLVD #1002 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.1002 7500 ESTERO BLVD 1002 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1002	15
LOFFRENO PASCUAL TR 1/2 INT + 8002 ESTERO BLVD FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.1003 7500 ESTERO BLVD 1003 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1003	15

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STUBLER KLAUS + JUTTA HERBSTSTR 3 83620 WESTERHAM, GERMANY	03-47-24-W4-04400.1004 7500 ESTERO BLVD 1004 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1004	15
CAPLIS VIRGINIA M TR 10616 CAMARELLE CIR FORT MYERS, FL 33913	03-47-24-W4-04400.1005 7500 ESTERO BLVD 1005 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1005	15
FINN WILLIAM + SANDRA 7500 ESTERO BLVD # 1006 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.1006 7500 ESTERO BLVD 1006 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1006	15
RICHTER KATHLEEN H 9206 WEST HIGGINS LAKE DR ROSCOMMON, MI 48653	03-47-24-W4-04400.1007 7500 ESTERO BLVD 1007 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1007	15
BEHNKE JOHN E + SARA L TR 7500 ESTERO BLVD # 1101 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.1101 7500 ESTERO BLVD 1101 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1101	15
KARP ALAN J + MARCIA 3303 BRIDGE RD HOLLYWOOD, FL 33026	03-47-24-W4-04400.1102 7500 ESTERO BLVD 1102 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1102	15
RAI K AJITH KUMAR + SUPRIYA A TARA 144/1 4TH MAIN 1ST CROSS DEFENCE COLONY INDIRANAGAR BANGALORE 560 038, INDIA	03-47-24-W4-04400.1103 7500 ESTERO BLVD 1103 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1103	15
RAST CLAUS-MICHAEL W + ALBINGER WEG 9 14129 BERLIN, GERMANY	03-47-24-W4-04400.1104 7500 ESTERO BLVD 1104 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1104	15
ROGERS ANTHONY + NANCY 7500 ESTERO BLVD #1105 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.1105 7500 ESTERO BLVD 1105 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1105	15
T P I C REALTY LLC 92 HUTCHINSON BLVD SCARSDALE, NY 10583	03-47-24-W4-04400.1106 7500 ESTERO BLVD 1106 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1106	15
VAUGHAN PATRICK A + ELLEN P 4038 THORNOAKS ANN ARBOR, MI 48104	03-47-24-W4-04400.1107 7500 ESTERO BLVD 1107 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1107	15
GROSS WILLIAM E PO BOX 92 BECHTELSTVILLE, PA 19505	03-47-24-W4-04400.1201 7500 ESTERO BLVD 1201 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1201 + GAR #1	15
DEGRAFFT HART W + JANE E TR 7500 ESTERO BLVD APT 1202 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.1202 7500 ESTERO BLVD 1202 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1202	15
VERCELLI LODI E + LYNN M 945 E JOHN ST WILMINGTON, IL 60481	03-47-24-W4-04400.1203 7500 ESTERO BLVD 1203 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1203	15
VEGLIA ALFRED L + EDNA M 7500 ESTERO BLVD #1204 FORT MYERS BEACH, FL 33931	03-47-24-W4-04400.1204 7500 ESTERO BLVD 1204 FORT MYERS BEACH FL 33931	RIVIERA CLUB CONDO OR 1544 PG 1521 UNIT 1204/GAR#10-11-12-13	15
FAILLA NICHOLAS + JANE 35 BUCCANEER LN EAST SETAUKET, NY 11733	03-47-24-W4-06200.0101 7390 ESTERO BLVD 101 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 101	16
MUELLER WILLIAM R + 8340 FREMONT AV SOUTH #209 BLOOMINGTON, MN 55420	03-47-24-W4-06200.0102 7390 ESTERO BLVD 102 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 102	16
HOLTLVUWER MICHAEL +DONNA R 1475 REBECCA RUN HUDSONVILLE, MI 49426	03-47-24-W4-06200.0104 7390 ESTERO BLVD 104 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 104	16
LIND JANE MARIE THOMPSON TR 2114 EAST ROCK CREEK DR BLOOMINGTON, IN 47401	03-47-24-W4-06200.0201 7390 ESTERO BLVD 201 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 201	16
BRUNS ROBERT A + ROSEMARIE 47154 SUNNYBROOK LN NOVI, MI 48374	03-47-24-W4-06200.0202 7390 ESTERO BLVD 202 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 202	16

All data is current at time of printing and subject to change without notice.
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(GENERAL EXEMPTIONS FROM INSPECTION OR COPYING OF PUBLIC RECORDS).

OWNER NAME AND ADDRESS	STRAP AND LOCATION	LEGAL DESCRIPTION	MAP INDEX
FIHRER MOTORS INC 2531 DIXIE HWY HAMILTON, OH 45015	03-47-24-W4-06200.0204 7390 ESTERO BLVD 204 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 204	16
BROWN LINDA JOSEPHINE TR 100 WHIPPOORWILL LANE QUOGUE, NY 11959	03-47-24-W4-06200.0301 7390 ESTERO BLVD 301 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 301	16
PALMISANO ANGELO + JOAN + 38 PARK LN WESTPORT, CT 06880	03-47-24-W4-06200.0302 7390 ESTERO BLVD 302 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 302	16
960082 ONTARIO INC 194 BELMORAL DR ORILLIA, ON L3V 5P8 CANADA	03-47-24-W4-06200.0304 7390 ESTERO BLVD 304 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 304	16
NIELSEN BRIAN + RENA 136 WESTRIDGE CRESCENT SPRUCE GROVE, AB T7X 3C8 CANADA	03-47-24-W4-06200.0401 7390 ESTERO BLVD 401 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 401	16
GREGORY LYNN TR 7390 ESTERO BLVD #402 FORT MYERS BEACH, FL 33931	03-47-24-W4-06200.0402 7390 ESTERO BLVD 402 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 402	16
POULOS HELEN B 2205 SHOREHAM RD COLUMBUS, OH 43220	03-47-24-W4-06200.0403 7390 ESTERO BLVD 403 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 403	16
RL BEASLEY LLC PO BOX 749 CALLAO, VA 22435	03-47-24-W4-06200.0404 7390 ESTERO BLVD 404 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 404	16
SPELLMAN JOHN R + KATHRYN I 245 MCCCELLANDTOWN RD UNIONTOWN, PA 15401	03-47-24-W4-06200.0501 7390 ESTERO BLVD 501 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 501	16
WRAY JAMES R + GALE M 14882 SOARING EAGLE CT FORT MYERS, FL 33912	03-47-24-W4-06200.0502 7390 ESTERO BLVD 502 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 502	16
LUND RONALD G + ROSE MARIE TR N9596 TAMARACK RD EAGLE, WI 53119	03-47-24-W4-06200.0503 7390 ESTERO BLVD 503 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 503	16
SILEO NICHOLAS A + ROSALIND 960 STACY PL RAHWAY, NJ 07065	03-47-24-W4-06200.0504 7390 ESTERO BLVD 504 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 504	16
DONNELLY THOMAS M + 15 E DIVISION ST APT 3 CHICAGO, IL 60610	03-47-24-W4-06200.0601 7390 ESTERO BLVD 601 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 601	16
RILEY CHARLES A + ELIZABETH F 923 N NIGHT HERON DR GREEN VALLEY, AZ 85614	03-47-24-W4-06200.0602 7390 ESTERO BLVD 602 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 602	16
WHITE LESTER E + M LORRAINE TR 14 MOUNT RAINIER LN MADISON, WI 53705	03-47-24-W4-06200.0603 7390 ESTERO BLVD 603 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 603	16
SANDERSON EILEEN J 435 PADDOCK CT BRISTOL, RI 02809	03-47-24-W4-06200.0604 7390 ESTERO BLVD 604 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 604	16
CHOWNING WILLIAM L 7390 ESTERO BLVD #701 FORT MYERS BEACH, FL 33931	03-47-24-W4-06200.0701 7390 ESTERO BLVD 701 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 701	16
JOYCE BARBARA L 378 BRUNSWICK DR WAYNESVILLE, NC 28786	03-47-24-W4-06200.0702 7390 ESTERO BLVD 702 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 702	16
DONOFRIO NICHOLAS + 365 SYCAMORE DR UNION, NJ 07083	03-47-24-W4-06200.0703 7390 ESTERO BLVD 703 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 703	16
MERCIL KEITH + RENEE 19243 E FRONT BLVD WYOMING, MN 55092	03-47-24-W4-06200.0704 7390 ESTERO BLVD 704 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 704	16

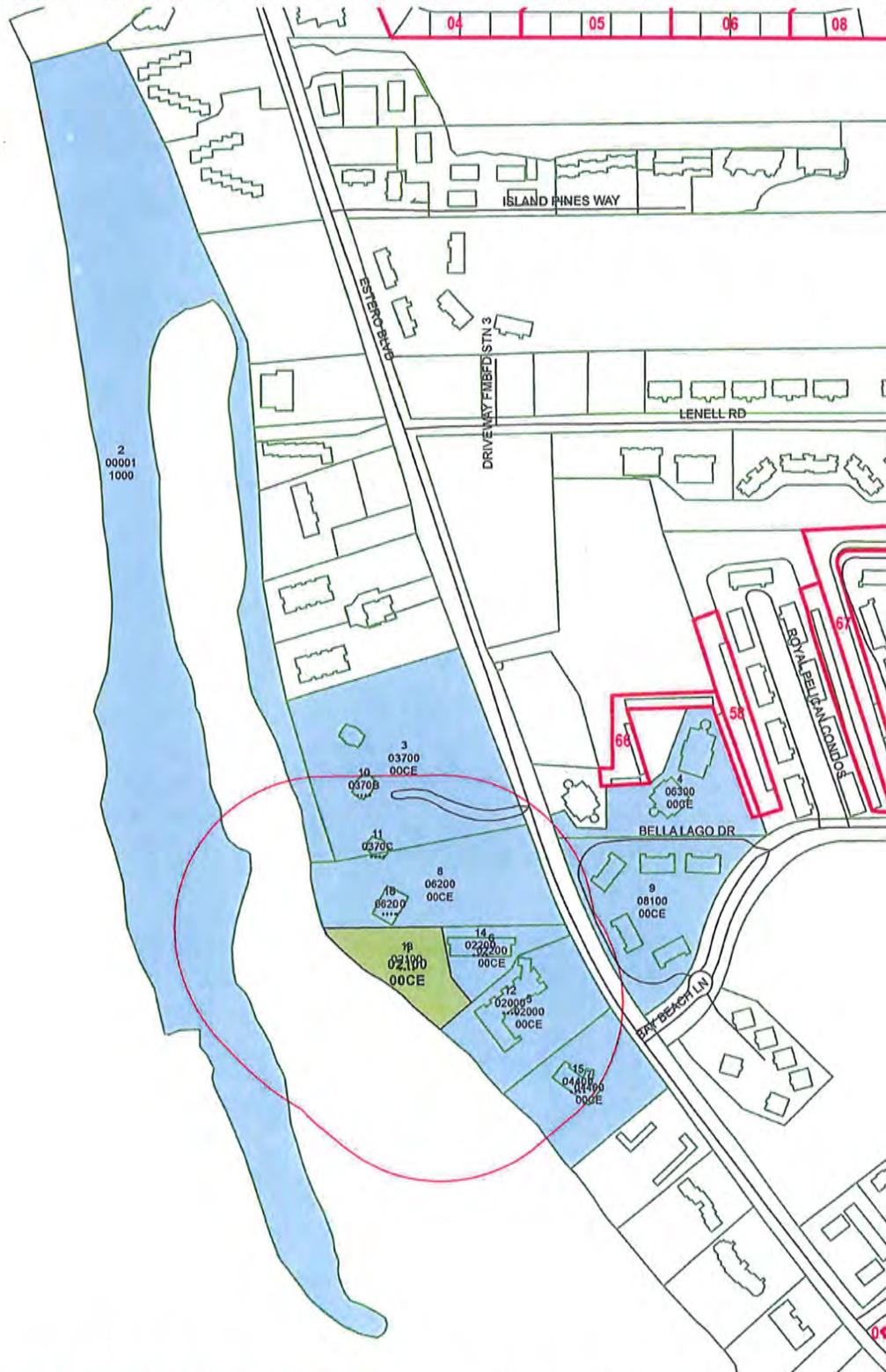
OWNER NAME AND ADDRESS	STRAP AND LOCATION	LEGAL DESCRIPTION	MAP INDEX
DANGELO ROBERT 25543 RANCHWOOD DR FARMINGTON HILLS, MI 48335	03-47-24-W4-06200.0801 7390 ESTERO BLVD 801 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 801	16
LYNCH THOMAS P + 6405 HIGHCROFT DR EVANSVILLE, IN 47715	03-47-24-W4-06200.0802 7390 ESTERO BLVD 802 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 802	16
KELLENBERGER TIMOTHY + MARCIA 9N975 MEADOW DR ELGIN, IL 60124	03-47-24-W4-06200.0803 7390 ESTERO BLVD 803 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 803	16
SCHOENLEBER DONALD E +KATHLEEN 7390 ESTERO BLVD # 804 FORT MYERS BEACH, FL 33931	03-47-24-W4-06200.0804 7390 ESTERO BLVD 804 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 804	16
RYCKMAN FAMILY PARTNERSHIP LTD 1468 BROOKPARK DR MANSFIELD, OH 44906	03-47-24-W4-06200.0901 7390 ESTERO BLVD 901 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 901	16
BLAZER WILLIAM E + KAREN S 2721 N STATE ROUTE 559 WOODSTOCK, OH 43084	03-47-24-W4-06200.0902 7390 ESTERO BLVD 902 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 902	16
MCCAFFREY CATHERINE TR + 311 N KNOWLES AVE APT 403 WINTER PARK, FL 32789	03-47-24-W4-06200.0903 7390 ESTERO BLVD 903 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 903	16
NELSON ROY ANDREW TR + 7390 ESTERO BLVD # 904 FORT MYERS BEACH, FL 33931	03-47-24-W4-06200.0904 7390 ESTERO BLVD 904 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 904	16
STEVENS RICHARD P TR 676 CAMELOT DR BURR RIDGE, IL 60527	03-47-24-W4-06200.1001 7390 ESTERO BLVD 1001 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1001	16
SLINGERLAND JACK + MARY L 3648 EDINBOROUGH DR ROCHESTER HILLS, MI 48306	03-47-24-W4-06200.1002 7390 ESTERO BLVD 1002 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1002	16
COSENTINO GINO + 4480 CEDAR SPRINGS RD BURLINGTON, ON L7R 3X4 CANADA	03-47-24-W4-06200.1003 7390 ESTERO BLVD 1003 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1003	16
LATULIPPE DENIS A + LORRAINE 7390 ESTERO BLVD #1004 FORT MYERS BEACH, FL 33931	03-47-24-W4-06200.1004 7390 ESTERO BLVD 1004 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1004	16
MOORE DONALD C 7390 ESTERO BLVD #103A FORT MYERS BEACH, FL 33931	03-47-24-W4-06200.103A 7390 ESTERO BLVD 103A FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 103A	16
CAMPBELL DUNCAN L + 39 MICAH HAMLIN RD CENTERVILLE, MA 02632	03-47-24-W4-06200.103B 7390 ESTERO BLVD 103B FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 103B	16
PERANI ROBERT F ROBERT W REYNOLDS EXEC 400 S ADELAIDE ST FENTON, MI 48430	03-47-24-W4-06200.1101 7390 ESTERO BLVD 1101 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1101	16
HALL FREDERICK + BRENDA 5095 OLD STATE RD EDINBORO, PA 16412	03-47-24-W4-06200.1102 7390 ESTERO BLVD 1102 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1102	16
ST THOMAS JANICE R + 191 EAST LINDSAY WAY SEDONA, AZ 86351	03-47-24-W4-06200.1103 7390 ESTERO BLVD 1103 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1103	16
CHARLES SELIGMAN DIST CO INC 10885 CLYDESDALE CT WALTON, KY 41094	03-47-24-W4-06200.1201 7390 ESTERO BLVD 1201 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1201	16
TEDESCO JOSEPH A + 5421 CHALLEN P/L DOWNERS GROVE, IL 60515	03-47-24-W4-06200.1202 7390 ESTERO BLVD 1202 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1202	16
GRIECO AGNES 101 SPRINGHOUSE DR WHITEHOUSE STATION, NJ 08889	03-47-24-W4-06200.1203 7390 ESTERO BLVD 1203 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1203	16

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VAUGHN RICHARD L TR + W256 S5213 OAKDALE DR WAUKESHA, WI 53189	03-47-24-W4-06200.1401 7390 ESTERO BLVD 1401 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1401	16
SCHULTZ JOSEPH + ANNE 150 E ROBINSON ST UNIT 2302 ORLANDO, FL 32801	03-47-24-W4-06200.1402 7390 ESTERO BLVD 1402 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1402	16
SELINSKY CRAIG S 1551 PILGRIMS KNOB SE CANTON, OH 44709	03-47-24-W4-06200.1403 7390 ESTERO BLVD 1403 FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 1403	16
SCHUTT EGBERT M + CHRISTA TR 2511 SE 22ND PL CAPE CORAL, FL 33904	03-47-24-W4-06200.203A 7390 ESTERO BLVD 203A FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 203A	16
MULCAHY ELIZABETH A 743 WASHINGTON ST TRAVERSE CITY, MI 49686	03-47-24-W4-06200.303A 7390 ESTERO BLVD 303A FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 303A	16
OELWANG ROBERT J 2745 FIRST ST #1302 FORT MYERS, FL 33916	03-47-24-W4-06200.303B 7390 ESTERO BLVD 303B FORT MYERS BEACH FL 33931	BERMUDA DUNES OR 2213 PG 1372 UNIT 303B	16

VARIANCE REPORT

8/7/2013

Subject Parcels: 1 Affected Parcels: 513 Buffer Distance: 500 ft



03-47-24-W4-02100.00CE

600 450 300 150 0 600 Feet

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GULF OF MEXICO

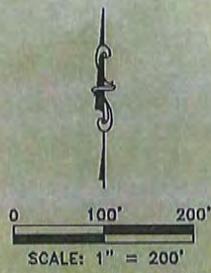
PROPOSED WALL LOCATION

R-204

100 FEET RADIUS

LEO. ARMS CONDO. RETAINING WALL

R-205



DATE OF PHOTOGRAPH: FEB/MAR 2012.
PHOTOGRAPH PROPERTY OF LEE COUNTY.
EXHIBIT IS FOR ILLUSTRATIVE PURPOSES ONLY.



HUMISTON & MOORE ENGINEERS
 COASTAL ENGINEERING DESIGN AND PERMITTING

PROPERTIES WITHIN 100' RADIUS LEE COUNTY		
FOR: LEONARDO ARMS CONDOMINIUM ASSOCIATION		
DATE: 7/24/13	FILE: 500-FT-RA	SCALE: 1"=200'
JOB: 22-010	DATUM: NONE	FIGURE: 1

5679 STRAND COURT
 NAPLES, FL 34110
 FAX: (239) 594-2025
 PHONE: (239) 594-2021
www.humistonandmoore.com