

RESOLUTION OF THE HISTORIC PRESERVATION BOARD OF
THE TOWN OF FORT MYERS BEACH, FLORIDA
RESOLUTION NUMBER 2013-002 HPB
HDD2013-0001 Mound House

A RESOLUTION OF THE HISTORIC PRESERVATION BOARD OF THE TOWN OF FORT MYERS BEACH, FLORIDA:

WHEREAS, the William H. Case House is the oldest existing structure in the Town of Fort Myers Beach, Florida, and together with the shell mound on which it sits, is the central historic feature of the Mound House property ("Mound House"), all of which is owned in fee simple by the Town of Fort Myers Beach, Florida; and

WHEREAS, the Mound House is located at 451 Connecticut Street, with STRAP # 29-46-24-W2-00146.0010, described more particularly as follows:

Lot 46 of Case's Subdivision of Government Lots 1, 2 and 3 of Section 29, Township 46 South, Range 24 East, according to the map thereof on file and recorded in the Office of the Clerk of the Circuit Court of Lee County, Florida in Plat Book 1, page 58, EXCEPTING THEREFROM the following: Beginning at the Southeasterly corner of Lot 47 of Case's Subdivision, thence running Northeasterly along the Easterly boundary of Lot 47 of said subdivision to the Northeasterly corner of said Lot 47 to the Point Of Beginning of the land herein excepted, thence running Northeasterly in a direct line along the Easterly boundary of said Lot 47 projected in a Northerly direction to a point intersecting the South line of Section 20, Township 46 South, Range 24 East, thence running West along the South line of Said Section 20 to a point intersecting the Northeasterly corner of Lot 45 of Case's Subdivision aforesaid, thence running Southeasterly along the Easterly boundary of said Lot 45 to the Northwesterly corner of Lot 47 of said subdivision, thence running Southwesterly along the Northerly boundary of said Lot 47 to the Point Of Beginning.

WHEREAS, the Mound House was designated as an historic resource with architectural and archaeological significance by the Town of Fort Myers Beach in 1996 pursuant to Resolution 96-17; and

WHEREAS, a special certificate of appropriateness is required pursuant to Land Development Code (LDC) sections 22-101 and 22-103(a) prior to the initiation of any work involving alteration, demolition, relocation, reconstruction, excavation, or new construction which will result in a change to the original appearance of a designated historic resource; and

WHEREAS, the Town of Fort Myers Beach (Applicant) has filed Application Number HDD2013-0001 for permission to restore the Mound House to circa 1921, along with necessary upgrades to lighting/electrical, fire alarm and suppression, and ADA accessibility measures; and

WHEREAS, the requests contained in the aforementioned application require issuance of a special certificate of appropriateness by the Town Historic Preservation Board (HPB) under LDC Section 22-101 and 22-103; and

WHEREAS, a public hearing was advertised and held before the HPB on December 10, 2013, at which time the HPB gave full and complete consideration to the recommendations of

staff, the documents in the file, the request of Applicant and the testimony of all interested persons.

NOW, THEREFORE BE IT RESOLVED BY THE HISTORIC PRESERVATION BOARD OF THE TOWN OF FORT MYERS BEACH, FLORIDA as follows:

The HPB **APPROVES/DISAPPROVES** the request for Special Certificate of Appropriateness.

FINDINGS AND CONCLUSIONS

1. Town Council Resolution 96-17 **contains/does not contain** specific guidelines related to any part of Applicant's request herein.
2. The findings and conclusions set forth below **are/are not** inclusive of the criteria for issuance of a special certificate of appropriateness as referenced in LDC Section 22-101(b), including the Secretary of the Interior's *Standards for Rehabilitation*
3. The property **is/is not** being used for its historic purpose or being placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
4. The historic character of the subject property **is/is not** being retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property **is/is not** being avoided.
5. The subject property **is/is not** being recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, **are/are not** being undertaken.
6. Most properties change over time; those changes that have acquired historic significance in their own right **are/are not** being retained and preserved.
7. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property **are/are not** being preserved.
8. Deteriorated historic features **are/are not** being repaired rather than replaced. When the severity of deterioration requires replacement of a distinctive feature, the new feature **do/do not** match the old in design, color, texture, or visual qualities and, where possible, materials. Replacement of missing features **are/are not** being substantiated by documentary, physical, or pictorial evidence.
9. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials, **are/are not** being used. The surface cleaning of structures, if appropriate, **is/is not** being undertaken using the gentlest means possible.
10. Significant archaeological resources affected by a project **are/are not** being protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

11. New additions, exterior alterations, or related new construction under this application **are/are not** destroying historic materials that characterize the property. The new work **is/is not** being differentiated from the old and compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

12. New additions and adjacent or related new construction **is/is not** being undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The foregoing Resolution was adopted by the HPB upon a motion by HPB Member _____ and seconded by HPB Member _____, and upon being put to a vote, the result was as follows:

Joanne Shamp, Chair	AYE/NAY	John Kakatsch, Vice Chair	AYE/NAY
Chuck Bodenhafer	AYE/NAY	Al Durrett	AYE/NAY
Jane Plummer	AYE/NAY	Jim Steele	AYE/NAY
Hank Zuba	AYE/NAY		

DULY PASSED AND ADOPTED THIS **10th** day of **DECEMBER, 2013**.

Historic Preservation Board of the Town of Fort Myers Beach

By: _____
 Joanne Shamp, HPB Chair

Approved as to legal sufficiency:

By: _____
 Fowler White Boggs, P.A.
LPA Attorney

ATTEST:

By: _____
 Michelle Mayher
Town Clerk



Town of Fort Myers Beach

DEPARTMENT OF COMMUNITY DEVELOPMENT STAFF REPORT

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: HDD2013-0001

CASE NAME: Mound House

HPB HEARING DATE: December 10, 2013

HPB HEARING TIME: 9:00AM

I. SUMMARY

The proposed project entails the interior/exterior restoration of the Mound House to its circa 1921 configuration. The structural, architectural and historical integrity of the building will be enhanced and preserved by this restoration project.

II. STAFF ANALYSIS

Existing Conditions

The Mound House is the oldest structure on Estero Island. It is located on 2.77 acres at the northeasterly end of the Case Subdivision, a residential neighborhood on Connecticut Street. The property is known for the Calusa Indian shell mound constructed between 100 BC and AD700-800, but today serves as a community learning center focused on history, archaeology, and the environment of Southwest Florida. The subject property was designated a historic resource by Lee County in 1995.

The Mound House property provides the Fort Myers Beach community and Southwest Florida tourists, residents and businesses with an educational and historical facility for a myriad of purposes. The Mound House, however, has not been open to the public, due to the needed restoration work inside the home.

The Mound House property had two main Post-1950 additions that were not historically significant, and were responsible for the denial of the Town's application for listing in the National Register of Historic Places in 2000. These two modifications included the circa 1958 swimming pool and the circa 1980 caretaker's apartment and carport.

The Mound House was awarded a grant from the State of Florida to convert the swimming pool into a walk-in archaeological shell mound exhibit. Both the swimming pool and caretaker suite have been removed, but the restoration of the house is the last step needed to return the property to its historical Pre-1950 condition.

The Proposed Project

The Mound House is a 2,945 square foot, two story masonry and wood structure. The project will include but not be limited to structural remediation, ADA accessibility upgrades including a new shaft way lift, means of egress upgrades, electrical lighting and power upgrades, limited fire-sprinkling protection with fire alarm, demountable tensile fabric exterior opening protective system, reconstruction and restoration of historical architectural components, coordination with planned exhibit displays and interpretive signage, and various general renovations to the existing structure, doors, windows, hardware and finishes. The scope of site improvements includes site lighting and fire-sprinkling piping and Fire Department connection.

The project will restore the Tudor cottage to include some period fixtures and include a gift shop and museum ticket office. The Bungalow/Family Room will be restored to a period setting. The Delysle Living Room/Kitchen will be used as a media and education center for the museum. Bedrooms 1, 2 and 3 will be restored and used for museum displays. The bathroom will be restored with period fixtures and will be used for display.

The Public Works Department has provided a copy of the Restrictive Covenants Compliance Review from the Florida Department of State, along with representative photographs of the historic period to which the Mound House will be restored. Also included is the Construction Manager At Risk Agreement that set the Guaranteed Maximum Price for the restoration. Another attachment includes sections from the architectural plans that provide details of the renovations to the structure, period-appropriate details and the necessary life/safety upgrades for ADA accessibility and fire protection.

Conclusion

This restoration project will enhance the educational and operational abilities of the Mound House. The restoration will not injure or affect the historical and architectural integrity of the structure.

The proposed restoration is consistent with the Comprehensive Plan, Historic Preservation Element:

Goal 13: To maintain “the best of the old” when redeveloping our community by appreciating, protecting, and promoting the historic resources of Fort

Myers Beach. To provide stewardship of the legacy of our predecessors, cultivating our understanding of the past as a means of sustaining our future.

The restoration promotes goal 13 of the Comprehensive Plan by assisting in the preservation and protection of the Mound House property as a whole.

OBJECTIVE 13-G REGULATIONS AND INCENTIVES: By the end of 1998, establish and maintain a regulatory and incentive system that promotes restoration, reconstruction, and re-use of the town's historic buildings.

The proposal promotes restoration and the re-use of one of the Town's historic buildings. The Land Development Code, Chapter 22 historic preservation, provides for certificates of appropriateness as incentives to property owners to enhance and restore the historic integrity of structures.

OBJECTIVE 13-H CELEBRATING OUR HERITAGE: Continually heighten the appreciation of the town's recent and ancient history and cultural life, and improve opportunities for appropriate public access to publicly supported resources.

The Mound House is specifically identified in Policies 13-H-1 and 13-H-2 as a worthy acquisition for the Town (completed) and eligible for the National Register of Historic Places (not yet completed). Restoration of the Mound House and the property to the historic Pre-1950 condition will support eligibility of the structure to the National Register.

Staff analyzed the proposal for compliance with the Secretary of the Interior's Standards for Rehabilitation and found that the project complies with these standards. The project is in compliance with Standards 1-3 and 5-9, which address preserving the historic character and integrity of buildings during restoration efforts.

The Secretary of Interior's Standards are listed below:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

III. STAFF RECOMMENDATION:

Staff recommends that the Historic Preservation Board:

- Approve the Request
- Make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project as approved is in compliance with Chapter 22 of the LDC and the Secretary of Interior's Standards for Rehabilitation.

Town of Fort Myers Beach
Special Certificate of Appropriateness Application
December 2, 2013

Name of Project: Mound House Interior Restoration – Phase II
Location: 451 Connecticut Street
Strap No.: 29-46-24-W2-00146.0010
Name of Applicant: Town of Fort Myers Beach
Address: 2523 Estero Blvd., Fort Myers Beach, FL 33931
Name of Historic District: Building
Type of Work: Alteration & Renovation

Narrative: The project will include but not be limited to structural remediation, ADA accessibility upgrades including a new shaft way lift, means of egress upgrades, electrical lighting and power upgrades, limited fire-sprinkling protection with fire alarm, demountable tensile fabric exterior opening protective system, reconstruction and restoration of historical architectural components, coordination with planned exhibit displays and interpretive signage, and various general renovations to the existing structure, doors, windows, hardware and finishes. The scope of site improvements includes site lighting and fire-sprinkling piping and FD connection.

Change in Use: Yes

Change in Use Narrative: The project includes: Restoring the Tudor to include some period fixtures and will include a gift shop and ticket; Bungalow/Family Room will be restored to a period setting; Delyse Living Room/Kitchen will be used as a media and education center; Bedrooms 1, 2, 3 will be restored and used for museum displays; Bathroom will be restored with period fixtures and will be used for display.

Attachments:

Florida Department of State Restrictive Covenants Compliance Review
Representative Photographs
Amendment No. 2 - Construction Manager At Risk Agreement
Approving the Guaranteed Maximum Price
Sections from the Architectural Plans including a Site Plan

Application Submitted By:

Cathie Lewis
Cathie Lewis, FMB Public Works Director



FLORIDA DEPARTMENT of STATE

RICK SCOTT
Governor

TOWN OF
FORT MYERS BEACH

KEN DETZNER
Secretary of State

NOV - 9 2012

October 31, 2012

RECEIVED BY

Ms. Cathie Lewis
Public Works Director
Town of Fort Myers Beach
2523 Estero Boulevard
Fort Myers Beach, Florida 33931

RE: Restrictive Covenants Compliance Review, William H. Case (Mound) House,
289 Connecticut Street, Fort Myers Beach

Dear Ms. Lewis:

In accordance with the Restrictive Covenants and conditions of acquisition for the William H. Case House, we have reviewed the photographs, construction documents for the rehabilitation of the property and other related documents submitted September 24, October 24 and 25, 2012.

It is our opinion that the proposed work is consistent with *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* and is in accordance with the Restrictive Covenants and conditions of acquisition. Unless other substantive changes are proposed, no additional review will be necessary.

Sincerely,

Phillip Wisley, R.A.,
Deputy State Historic Preservation Officer
for Architectural Preservation Services



DIVISION OF HISTORICAL RESOURCES
R. A. Gray Building • 500 South Bronough Street • Tallahassee, Florida 32399-0250
Telephone: 850.245.6333 • Facsimile: 850.245.6437 • www.flheritage.com
Commemorating 500 years of Florida history www fla500.com

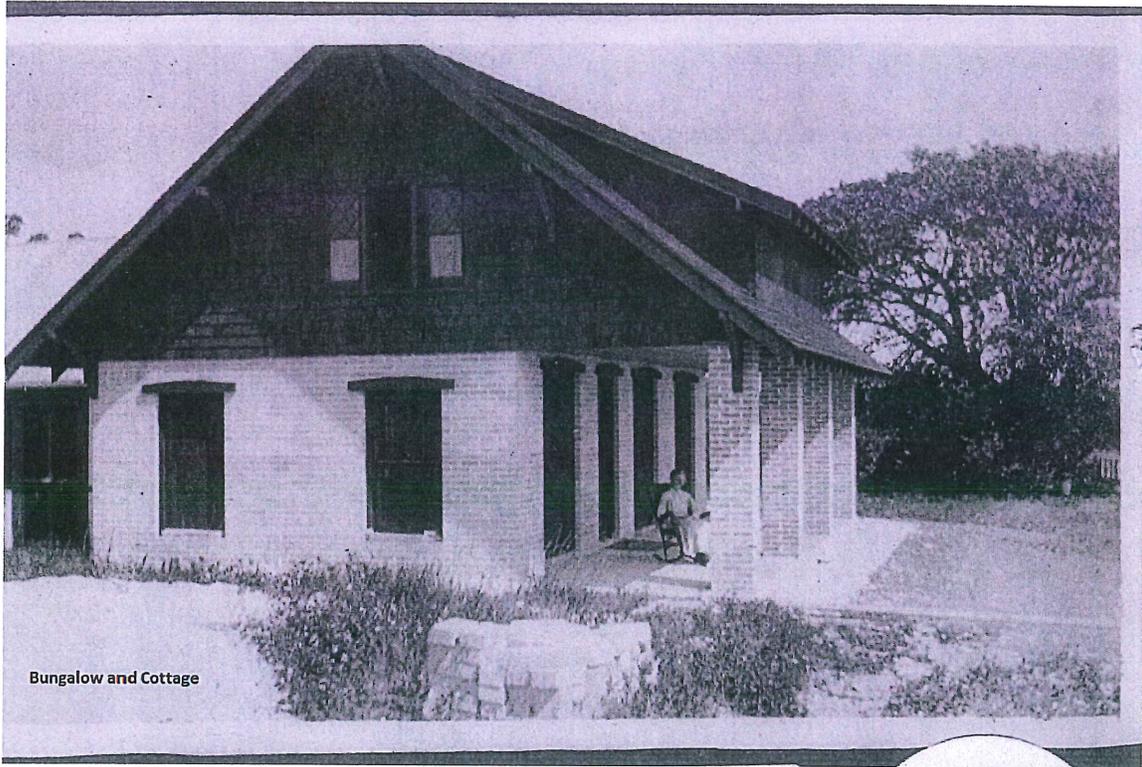




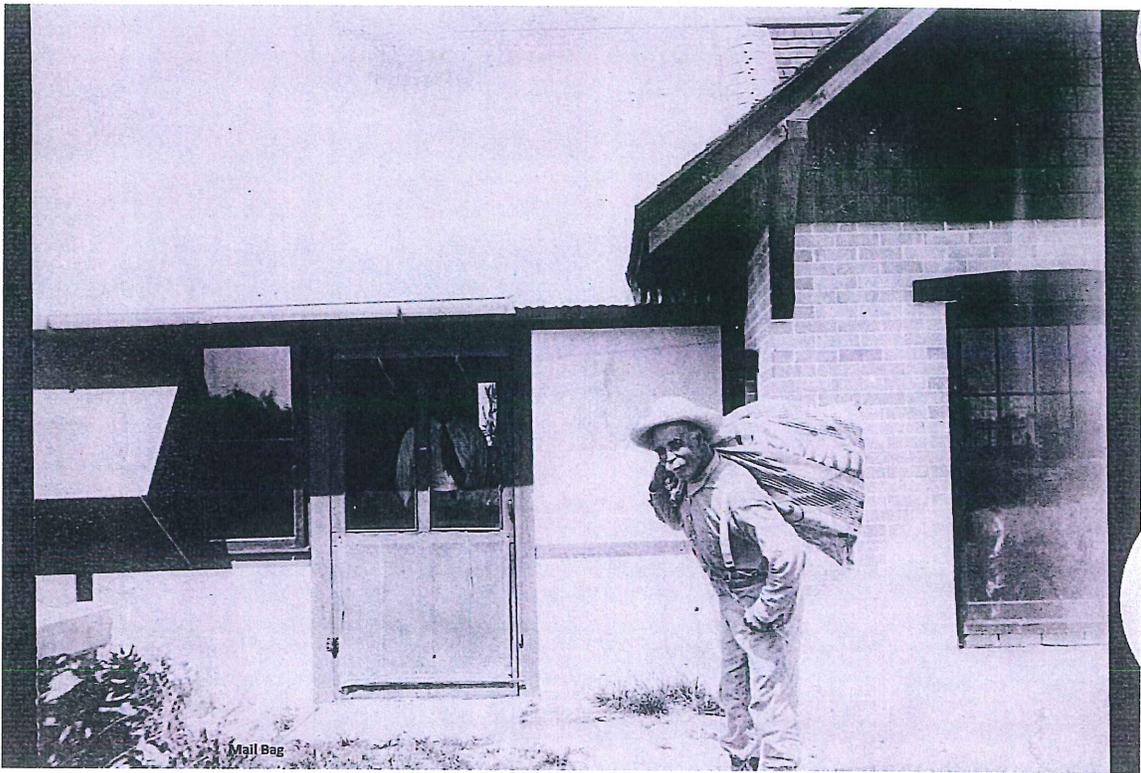
Case - circa 1906



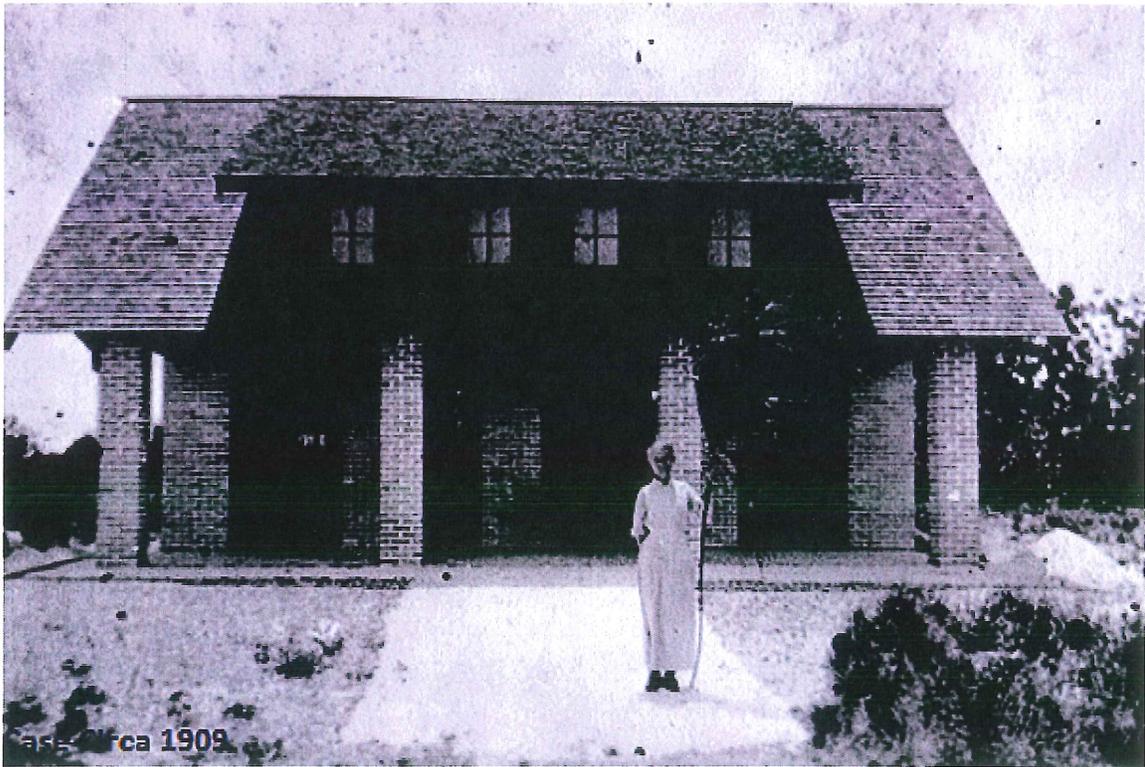
Case Bungalow - Circa 1906



Bungalow and Cottage



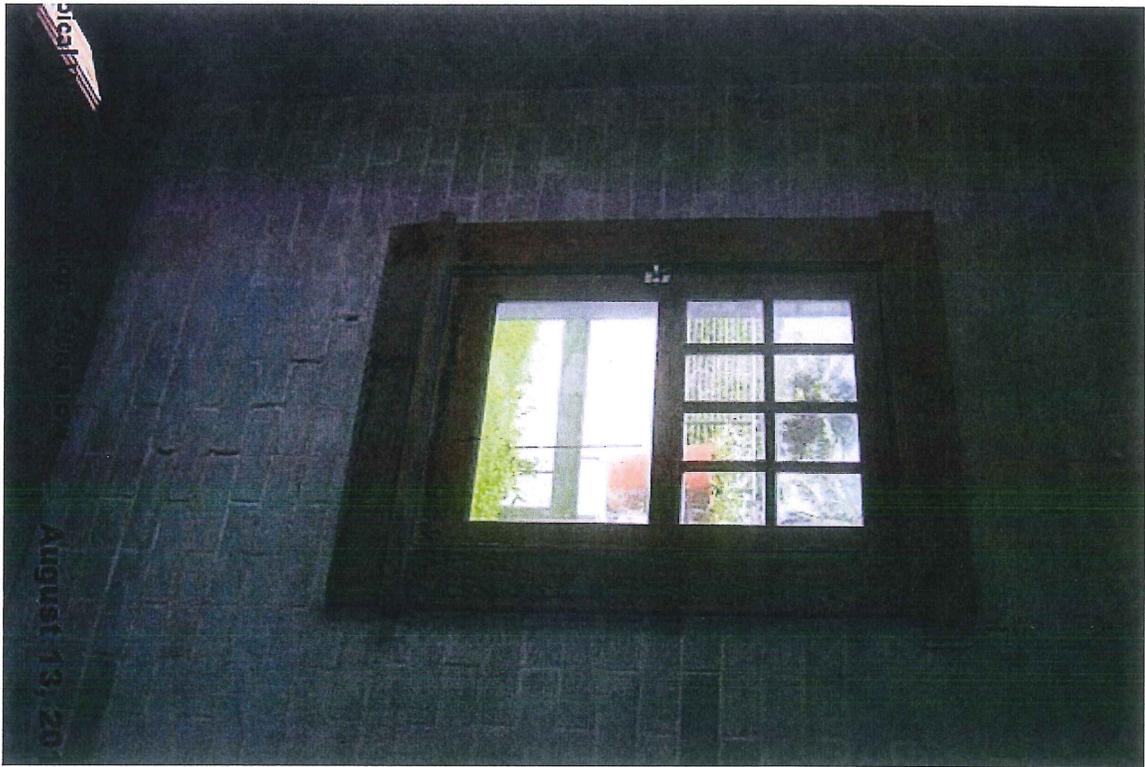
Mail Bag





Case - 1924









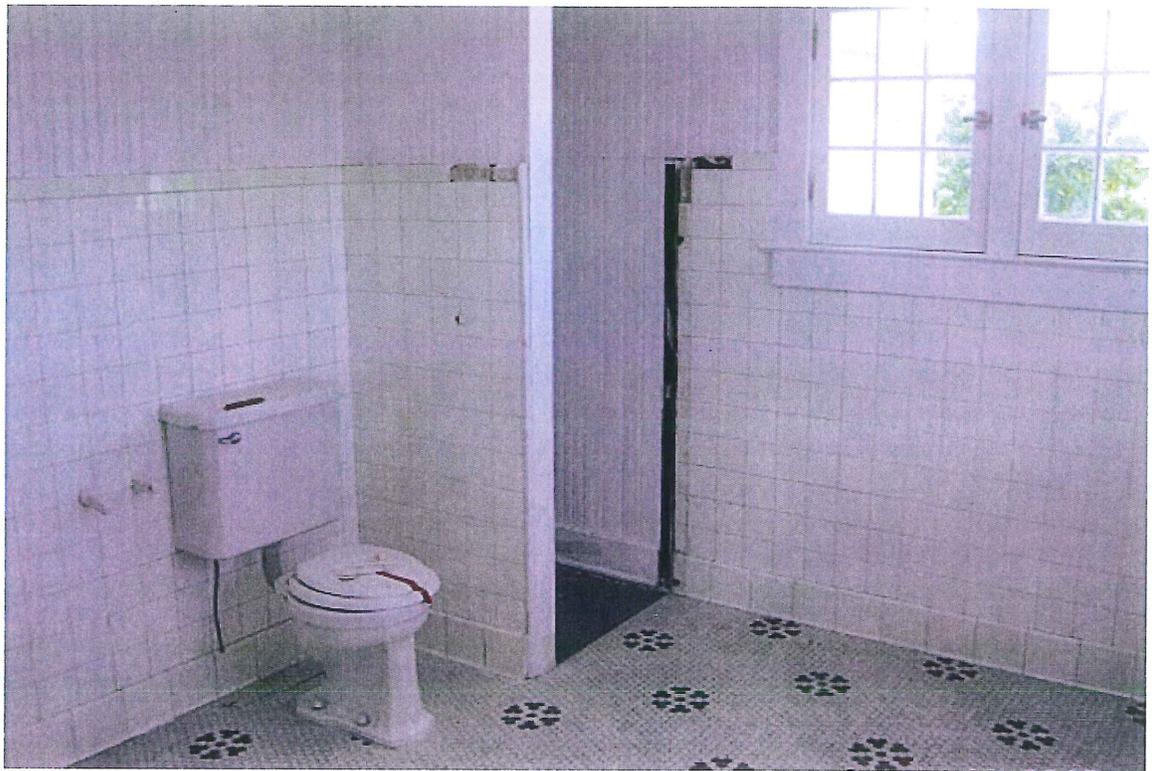
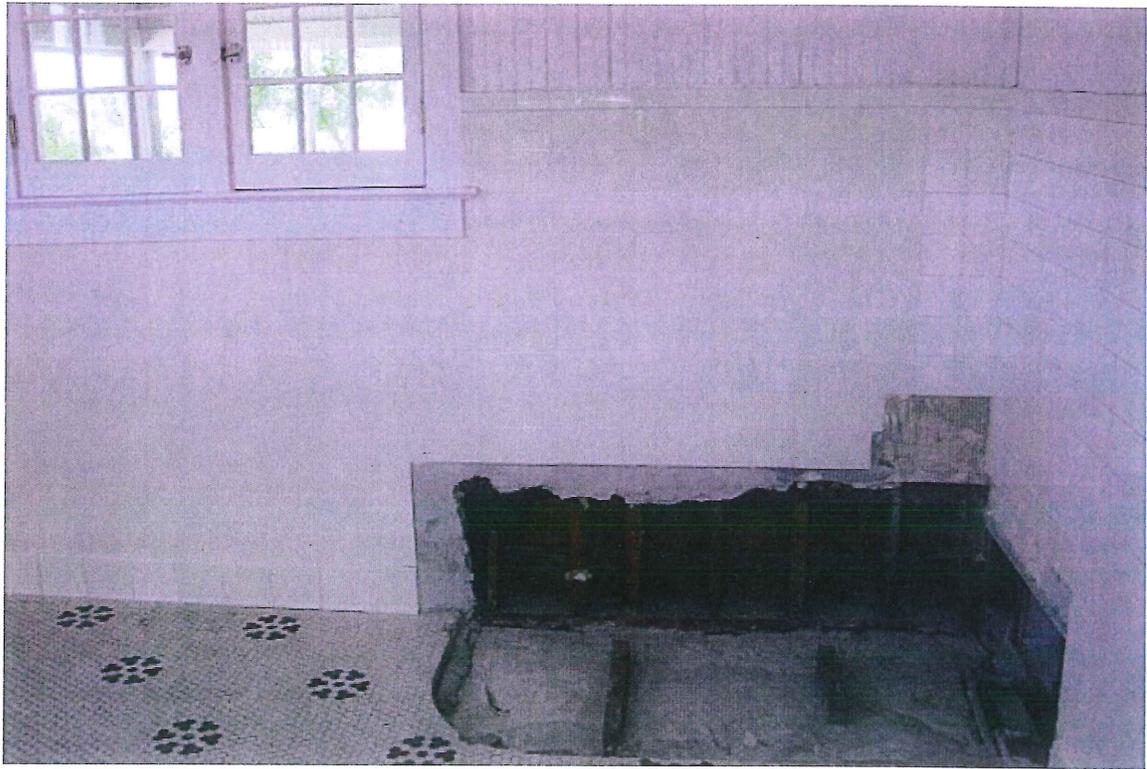
System Kitchen Typical Door

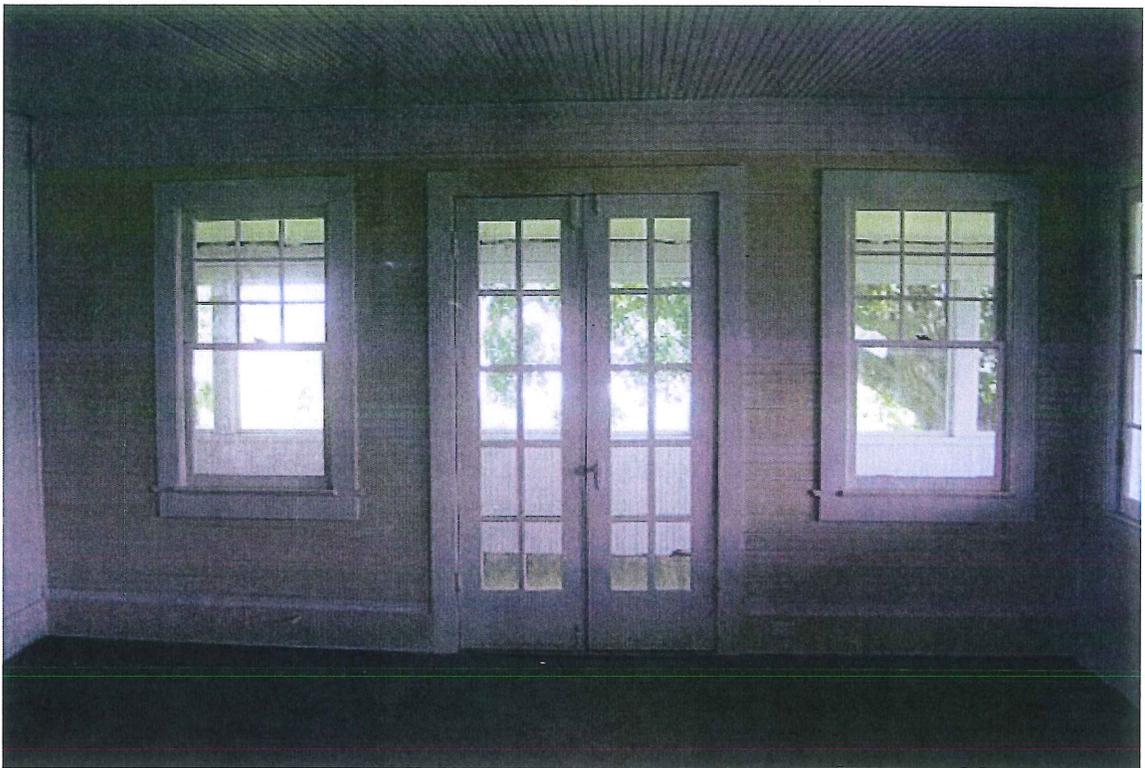
August 13, 2012



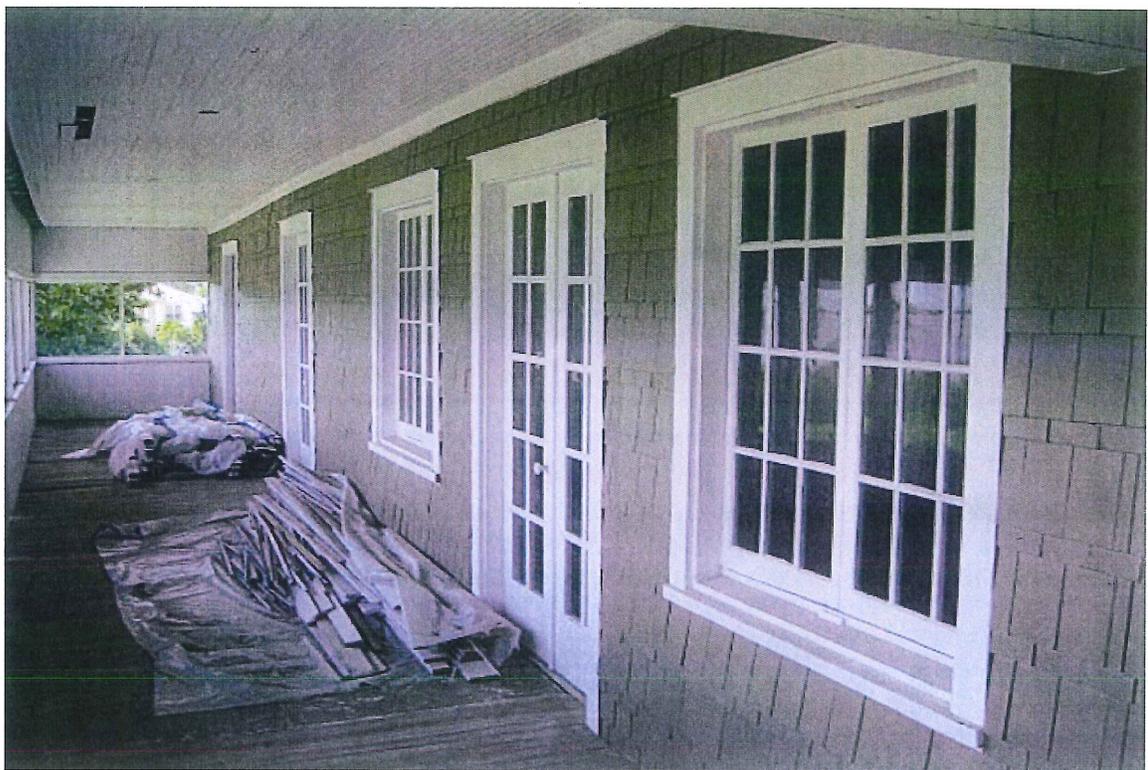
Room 2 Closet











AMENDMENT NO. 2
CONSTRUCTION MANAGER AT RISK AGREEMENT

This AMENDMENT TO THAT CERTAIN CONSTRUCTION MANAGER AT RISK AGREEMENT, entered into on September 6, 2013, is made this 22 day of October, 2013, by and between the Town of Fort Myers Beach, 2523 Estero Boulevard, Fort Myers Beach, FL 33931, a municipal corporation of the state of Florida (hereafter "TOWN"), and Fowler Construction and Development which is legally registered in the State of Florida (hereafter FIRM), to render services, as an independent contractor, to the TOWN as follows: Mound House Restoration Phase II, Town of Fort Myers Beach.

WITNESSETH:

WHEREAS, the Town of Fort Myers Beach, is the governing board of the Fort Myers Beach and Fowler Construction and Development has been contracted to furnish efficient business administration and superintendence and use its best efforts to complete the Project in the best and soundest way, and in the most expeditious and economical manner of the Mound House Restoration, Phase II and,

WHEREAS, the Phase I – Pre Construction Services have been completed and accepted in accordance with the Contract Documents and,

WHEREAS, the TOWN and FIRM desire to amend said Agreement to include the Phase II – Construction Services;

NOW THEREFORE, in consideration of the foregoing, and the mutual covenants and conditions hereinafter set forth, the TOWN and FIRM, intending to be legally bound, hereby agree to this Amendment No. 2 to the Construction Manager at Risk Agreement as follows, and as further detailed in Attachment "A".

1. Services – This phase of the work includes the services necessary to cause all work required by the Contract Documents to be properly completed in accordance with the terms of the Contract Documents and within the established time.
2. Guaranteed Maximum Price – The Guaranteed Maximum Price has been provided by FIRM, setting forth the maximum amount to be paid by TOWN to FIRM as full compensation for all services, labor and materials required and for all expenditures which may be made and expenses incurred, including the Construction Manager's Fee, the Cost of the Work for the Project, and the Construction Manager's Contingency.
3. The Construction Manager's Contingency is an amount as agreed upon by the TOWN and FIRM to be used to cover costs resulting from unforeseen conditions that may arise during the project.
4. Owner Direct Purchases – FIRM shall provide assistance should the Town desire to make Owner-Direct Purchases pursuant to Section 4.2 of the Construction Manager at Risk Agreement dated, September 6, 2013.

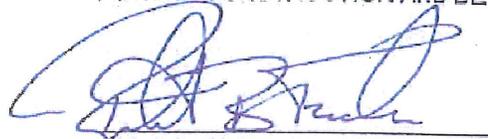
5. The Guaranteed Maximum Price has been prepared using the architectural design plans dated September 7, 2012. The architectural plans shall be finalized immediately upon approval of the Guaranteed Maximum Price as put forth in Amendment No. 2. Should any changes or modifications be made to the plans dated September 7, 2012, since the formulation of the Guaranteed Maximum Price included in this Amendment No. 2, the Guaranteed Maximum Price shall be increased or decreased to accommodate said changes or modifications.
6. Notice to Proceed – The Notice to Proceed shall be issued upon receipt of the TOWN's Building Permits.
7. Contract Time – The parties mutually agree that the project shall be Substantially Complete in 150 consecutive calendar days from the date of the Official Notice to Proceed, which shall be issued once a Town Building Permit is issued, and shall reach Final completion within 180 days from said issuance of the Building Permit.

IN WITNESS WHEREOF, the parties have executed this agreement as set forth below.

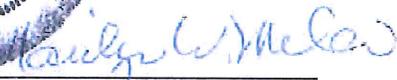
TOWN OF FORT MYERS BEACH

FOWLER CONSTRUCTION AND DEVELOPMENT


Terry Stewart, Town Manager


Robert B. Fowler, Sr.


Michelle Mather, Town Clerk
LEGAL REVIEW


Fowler, White Boggs, Town Attorney

WITNESS:

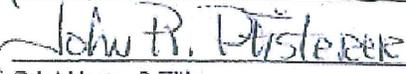


Print Name & Title



EXHIBIT A
GUARANTEED MAXIMUM PRICE AND CONTRACT TIME

- The Undersigned Construction Manager, having visited the site of the proposed project and having become familiar with the local conditions, nature and extent of the work, and having examined carefully the Agreement Form, General Conditions, Supplementary Conditions, Plans and Specifications and other Contract Documents, and having fulfilled their requirements as well as the Bonding requirements herein, proposes to furnish all labor, materials, equipment and other items, facilities and services for the proper execution and completion of the:

MOUND HOUSE RESTORATION PHASE II

in full accordance with the drawings and specifications prepared by the Owner's Architect and all other documents related thereto on file with Town of Fort Myers Beach, and to complete the said work within the time limits specified for the following Guaranteed Maximum Price as supported by the Schedule of Values attached hereto and made a part of this Contract

GUARANTEED MAXIMUM PRICE:

Cost of the Work: (\$ 628,481.00)
(Typed or written legibly in dollar amount)
Six Hundred Twenty-Eight Thousand Four Hundred Eight-One & 00/100 dollars

Includes Alternates #1 and #3

(Typed or written legibly in words)

Construction Manager's Fee: (\$ 84,216.00)
(Typed or written legibly in dollar amount)
Eighty-Four Thousand Two Hundred Sixteen & 00/100's dollars

8% Overhead plus 5% Profit

(Typed or written legibly in words)

Contingency: (\$ 35,635.00)
(Typed or written legibly in dollar amount)

Thirty-Five Thousand Six Hundred Thirty-Five & 00/100's dollars

5% Total

(Typed or written legibly in words)

TOTAL GUARANTEED MAXIMUM PRICE:
(\$ 748,332.00)
(Typed or written legibly in dollar amount)

Seven Hundred Forty-Eight Thousand Three Hundred Thirty-Two & 00/100's dollars

(Typed or written legibly in words)



CONDITIONS TO GMP
FT. MYERS BEACH MOUND HOUSE RESTORATION
October 15, 2013

Allowances (see Article 6.3, Allowances)

1. Lead Abatement (AMRC)	\$ 39,550
2. Environmental Monitoring (Greenfield)	\$ 9,690
3. masonry Restoration	\$ 33,275
4. Ceramic Tile	\$ 3,000
5. Painting	\$ 41,059
6. Period 1920's Bathtub (acquisition, freight, restoration)	\$ 3,500
7. Chimney Pipe	\$ 1,000

Exclusions:

1. Toilet, sink and associated bath fixtures (none specified in plans)
2. Exterior sidewalk – excluded per instruction from Town
3. Hanging light fixture in Bungalow / Family room
4. Asbestos Abatement if necessary – Town to provide asbestos survey
5. Simpson H10A Hurricane tie fasteners per agreement with Town and County Plan Review
6. Lead and asbestos abatement & monitoring for alternates #1 & #3.
7. Builders Risk Insurance

Additions:

1. At the direction of the Town, the Fire Alarm System and Sprinkler System on 2nd floor Are included in this GMP.
2. R-38 Cellulose blown insulation in ceiling of second floor
3. Fabric Hurricane Window protection

Substitutions:

1. Interior recessed ceiling light fixtures specified will not fit and cannot be properly installed. The following substitution has been made and accepted by the Town and Architect: INFINIUM LED Retrofit Recessed Downlights substitute for fixtures listed in Fixture Schedule "A".
2. Exterior recessed ceiling fixtures will not fit and cannot be properly installed. A substitution has Not been made and a Change Order will become necessary to make this substitution.

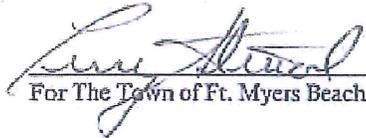
Permit and Contract Time:

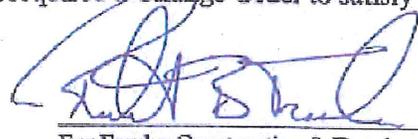
Terms of the Agreement specify that the Town is responsible to submit all permit applications and expedite the required approvals. The final construction documents have not been completed by the Town's architect and; therefore, the permit

applications have not been submitted by the Town. Accordingly, the Contract Times identified in Exhibit "A" CONTRACT TIME shall delete the wording, "from date of Notice To Proceed and insert the wording, " from date of Building Permit Issuance" which the Town agrees to provide within 30 days of this Agreement.

Contract Documents (Plans and Specifications):

The CM has not been provided Final Construction Plans or Specifications for permitting and construction as of the date of this GMP submittal. Accordingly, this GMP is based on plans and specification documents originally dated September 7, 2012 and specifically the plans and specifications listed on the attached "Index to Drawings". It is further understood that upon review of the Architect's permit plan submittal, the permitting authorities may required certain changes be made that have not been included in this GMP and will required a Change Order to satisfy the requirement.


For The Town of Ft. Myers Beach


For Fowler Construction & Development

2

INDEX TO DRAWINGS

All Bid Drawings Dated 09/07/2012 unless noted below:

COVER	COVER SHEET			
GA-1	ARCHITECTURAL GENERAL NOTES	S-1	STRUCTURAL ROOF MODIFICATION PLAN	
SA-1	SITE PLAN	S-2	STRUCTURAL DETAILS	
LS-1.1	FIRST FLOOR LIFESAFETY PLAN	FP-1	FIRE PROTECTION - COVER SHEET, NOTES	
LS-1.2	SECOND FLOOR LIFESAFETY PLAN	FP-2	FIRE PROTECTION SITE PLAN	
10/03/12 A-1.1	FIRST FLOOR PLAN	FP-3	FIRE PROTECTION FLOOR PLANS	
A-1.2	SECOND FLOOR PLAN	FP-4	FIRE PROTECTION BUILDING SECTION AND DETAILS	
A-3.1	BUILDING ELEVATIONS	E-1	ELECTRICAL COVER SHEET	
10/04/12 A-3.2	BUILDING SECTIONS	E-2	ELECTRICAL SITE PLAN	
A-5.1	ENLARGED PLANS - INTERIOR STAIR	E-3	ELECTRICAL SITE LIGHTING PHOTOMETRIC PLAN	
A-5.2	INTERIOR STAIR ELEVATIONS	E-4	ELECTRICAL LIGHTING PLANS	
A-5.3	<RESERVED>	E-5	ELECTRICAL POWER PLANS	
10/04/12 A-5.4	ENLARGED PLANS - EXTERIOR STAIR	E-6	FIRE ALARM PLANS	
A-5.5	<RESERVED>	E-7	ELECTRICAL RISER DIAGRAM AND PANEL SCHD.	
A-5.6	<RESERVED>	E-8	FIRE ALARM RISER DIAGRAM AND DETAILS	
A-5.7	ENLARGED DETAILS-LIFT	E-9	ELECTRICAL LIGHTING FIXTURE SCHD. AND DTLS.	
09/21/12 A-5.8	ENLARGED DETAILS-TUDOR WING	E-10	ELECTRICAL SPECIFICATION	
A-5.9	ENLARGED DETAILS-FIREPLACE	E-11	FIRE ALARM SPECIFICATION	
A-5.10	ENLARGED DETAILS-BATHROOM CLOSET	E-12	FIRE ALARM SPECIFICATION	
09/11/12 A-7.1	FIRST FLOOR REFLECTED CEILING PLAN			
A-7.2	SECOND FLOOR REFLECTED CEILING PLAN			
A-8.1	DOOR ELEVATIONS			
10/04/12 A-8.2	DOOR DETAILS			
A-8.3	WINDOW ELEVATIONS			
A-8.4	WINDOW DETAILS			

Note: Drawings and specifications revised per Addendums 1, 2, 3, 4, 5 and Architect's Response to Pro-bid Questions 1, 2 and 3 dated 07/22/2013.



PROJECT NAME: Mound House Restoration

PROJECT #:

CURRENT DATE: 10 21 2013

CONTRACT AMOUNT: \$ 712,897

TOTAL PROJECT SQUARE FOOTAGE:

PROJECT DURATION: 6 months or 26 weeks

Confidential

DO NOT MAKE ENTRIES!!

#	CATEGORY	NOTE	ALLOWANCE AMOUNT	CONTRACTED AMOUNT	TOTAL AMOUNT
1.0 GENERAL REQUIREMENTS					
SUPERVISION:					
1010.0	Construction Manager	Rob Fowler Sr		\$ 14,560	\$ 14,560
1020.0	Project Mgr/Superintendent	Rob Fowler Jr		\$ 72,800	\$ 72,800
1030.0	Project Coordinator			\$ 3,130	\$ 3,130
SUBMITTALS:					
1100.0	Schedules	In 1020			\$ -
1120.0	Progress Reports	In 1020			\$ -
1130.0	Shop Drawings	In 1020			\$ -
1140.0	Samples	In 1020			\$ -
1150.0	Oper / Maint. Data	In 1020			\$ -
1160.0	Photographs/Renderings	Not Anticipated			\$ -
TEMP Facilities/Services					
1200.0	Electric	Furnished by Town of FMB - Hook-up by FCD		\$ 900	\$ 900
1220.0	Cellular Service			\$ 450	\$ 450
1230.0	Non-potable Water	Furnished by Town of FMB			\$ -
1240.0	Drinking Water				\$ -
1250.0	Temporary Toilet			\$ 660	\$ 660
1260.0	First Aid Supplies			\$ 200	\$ 200
1270.0	Safety Supplies				\$ -
1280.0	Barriers			\$ 500	\$ 500
1290.0	Signage				\$ -
1310.0	Office Trailer				\$ -
1320.0	Temporary Fencing			\$ 2,500	\$ 2,500
BONDS/INSURANCE:					
1405.0	Bonding			\$ 18,710	\$ 18,710
1410.0	General Liability	(.750M/1000) X 2.1152) +		\$ 3,910	\$ 3,910
1420.0	Workers Comp.	(91,000/1000) X 25.495)			\$ -
1430.0	Builders Risk	Furnished by Town of FMB			\$ -
REGULATORY FEES:					
1510.0	Impact Fees	Not Anticipated			\$ -

1520.0	Local Bldg. Permits	By Town of FMB			\$ -
1530.0	State Permits	By Town of FMB			\$ -
1540.0	Federal Permits	By Town of FMB			\$ -
1550.0	Utility Connect Fees	Not Anticipated			\$ -
1560.0	Inspections	Not Anticipated			\$ -
	OTHER EXPENSES:				
1610.0	Labor				
1620.0	Onsite Sundries		\$ 1,500		\$ 1,500
1630.0	Operating Sundries		\$ 250		\$ 250
1640.0	Design/Architecture	Furnished by Town of FMB			\$ -
1650.0	Engineering	Furnished by Town of FMB			\$ -
1660.0	Trash Removal				\$ -
1670.0	Survey & Staking	Not Anticipated	\$ 1,950		\$ 1,950
1675.0	Scaffolding	By Subcontractors			\$ -
1690.0	Soil/Concrete PSI Testing	Not Anticipated			\$ -
1700.0	Mobilization				\$ -
1710.0	Travel Expense		\$ 4,295		\$ 4,295
1720.0	Reprographics Expense		\$ 400		\$ 400
1730.0	Cleaning - Continuous				\$ -
1740.0	Cleaning - Final		\$ 1,500		\$ 1,500
1750.0	Project Close-Out				\$ -
1760.0	Rentals		\$ 250		\$ 250
	DIVISION TOTAL		\$ 123,715		\$ 123,715
2.0	SITWORK				
2010.0	Soil Investigation (borings)	Not Anticipated			\$ -
2030.0	Termite Protection	Not Anticipated			\$ -
2050.0	Demolition	Interior concrete slab removal		\$ 3,175	\$ 3,175
2075.0	Core Drilling	By Subcontractor			\$ -
2080.0	Hazardous Mat. Removal	AMRC - \$32,950 Lead Removal + Non-Hazardous Disposal	\$ 39,560		\$ 39,560
		Greenfield Env - \$8,075 Environmental Monitoring	\$ 9,690		\$ 9,690
2150.0	Shoring/Underpinning	Not Anticipated			\$ -
2790.0	Electric Power Service Line	In 16050			\$ -
2785.0	Voice/Data Service Line	In 16050			\$ -
	DIVISION TOTAL		\$ 52,415		\$ 52,415
3.0	CONCRETE				
3010.0	Structural Concrete	Not Anticipated			\$ -
3330.0	Ext Walks, Pads, Driveways	Pad Removed from Scope			\$ -
	DIVISION TOTAL		\$ -		\$ -
4.0	MASONRY				
4020.0	Masonry		\$ 33,275		\$ 33,275
	DIVISION TOTAL		\$ 33,275		\$ 33,275
5.0	METALS				
5100.0	Steel Construction	Not Anticipated			\$ -
5500.3	Metal Hand Railings	In 6200			\$ -
	DIVISION TOTAL		\$ -		\$ -
6.0	WOOD & PLASTICS				
6050.0	Fasteners/Adhesives	In 6200			\$ -

6100.0	Rough Carpentry	Ext Columns		\$	8,220	\$	8,220
6110.0	Framing Lumber	In 6200				\$	-
6170.0	Trusses	Repair/Rework		\$	5,250	\$	5,250
6200.0	Finish Carpentry	1st floor		\$	24,480	\$	24,480
		2nd floor		\$	47,560	\$	47,560
		1st floor Ceiling		\$	14,980	\$	14,980
		2nd floor Ceiling		\$	8,990	\$	8,990
		Door & Window - Temporary Flywood Closures FCD		\$	1,000	\$	1,000
6210.0	Millwork	In 6200				\$	-
6400.0	Casework	In 6200				\$	-
6450.0	Countertops	In 6200				\$	-
6455.0	Standing/Running Trim	In 6200				\$	-
	DIVISION TOTAL		\$		110,480	\$	-
7.0	THERMAL/MOISTURE PROTECTION						
7100.1	Fluid Applied Waterproofing	Not Anticipated				\$	-
7200.0	Building Insulation	R11 shaft walls & R38 ceiling		\$	2,312	\$	2,312
7500.0	Flashing/Sheet Metal	In 7710				\$	-
7700.0	Roof Specialties					\$	-
7710.0	Gutters			\$	5,700	\$	5,700
7900.0	Joint Sealants/Caulking	FCD		\$	2,500	\$	2,500
	DIVISION TOTAL		\$		10,512	\$	-
8.0	DOORS/WINDOWS						
8200.0	Wood/Plastic Doors	Repair/Rework		\$	26,780	\$	26,780
8600.0	Wood/Plastic Windows	Repair/Rework		\$	19,690	\$	19,690
8700.0	Finish Door Hardware	In 8200/8600				\$	-
8810.0	Glass/Glazing	In 8200/8600				\$	-
	DIVISION TOTAL		\$		46,470	\$	-
9.0	FINISHES						
9220.0	Stucco			\$	5,675	\$	5,675
9250.0	Drywall/Hardcoat	In 6200				\$	-
9300.0	Ceramic Wall/Floor Tile		\$	3,000		\$	3,000
3550.0	Wood Flooring	In 6200				\$	-
9900.0	Painting		\$	41,059		\$	41,059
9910.0	Interior Trim/Caulk	In 9900				\$	-
	DIVISION TOTAL		\$		49,734	\$	-
10.0	SPECIALTIES						
10520.0	Fire Extinguishers/Cabs	NIC				\$	-
10570.0	Shelving	In 6200				\$	-
10715.0	Storm Shutters	Alternate 3	\$	1,470	\$	6,830	8,300
10900.0	Toilet/Bath Accessories	Not Anticipated				\$	-
	DIVISION TOTAL		\$		8,300	\$	-
11.0	EQUIPMENT						
11132.0	Projection Screen	In 6200 - Draper Access/Series E				\$	-
	DIVISION TOTAL		\$			\$	-
12.0	FURNISHINGS						
12010.0	Furnishings	Tub & Fixtures	\$	3,500		\$	3,500
		Chimney Pipe	\$	1,000		\$	1,000

		Stove, Sink, Cabinet - In 6200			
	DIVISION TOTAL	\$ 4,500		\$	
13 0	SPECIAL CONSTRUCTION				
	DIVISION TOTAL	\$ -		\$	
14 0	CONVEYING SYSTEMS				
14200.0	Elevators	Garaventa - Genisys Vericle Lift \$25,750 + power door operators \$1,500		\$ 27,250	\$ 27,250
14400.0	Lifts	Garaventa Evacuation Chair		\$ 3,295	\$ 3,295
	DIVISION TOTAL	\$ 30,545		\$	
15 0	MECHANICAL				
15300.0	Fire Sprinlder System	Alternate 1		\$ 5,220	\$ 5,220
15400.0	Plumbing Systems	Abandon Gas Pipe in wall FCD		\$ 250	\$ 250
15410.0	Plumbing Fixtures	In 12010 for Tub			
15500.0	HVAC Systems	Not Anticipated			
	DIVISION TOTAL	\$ 5,470		\$	
18 0	ELECTRICAL				
16050.0	Elec Distribution Systems	\$139,115		\$ 139,115	\$ 139,115
16400.0	Elec Service Entrance				
16500.0	Lighting Systems - Bldg	In 16050			
16500.0	Lighting Systems - Site	In Alternate 2			
16510.0	Electrical Fixtures	In 16050			
16810.0	Security Systems	NIC			
16700.0	Voice/Data Systems	NIC			
16720.0	Fire Detection Alarm Sys	Alternate 1 - Requested to place back in bid		\$ 8,950	\$ 8,950
16770.0	PA/Music Systems	NIC			
	DIVISION TOTAL	\$ 148,065		\$	
		Allowance Subtotal	\$ 132,544		
		Contracted Subtotal	\$ 495,937		
		Project Cost		\$ 628,481	
		MATH CHECK (must equal Total Amount)		\$ 628,481	
		Contractor Overhead 8%	\$50,278		
		Contractor Fee 5%	\$33,938		
		Total Contract Amount	\$712,697		

MOUND HOUSE RESTORATION PHASE II

TOWN OF FORT MYERS BEACH
2523 ESTERO BOULEVARD
FORT MYERS BEACH, FLORIDA 33931
WWW.FORTMYERSBEACHFL.GOV
(239) 765-0202

PROJECT ADDRESS:
289 CONNECTICUT STREET
FORT MYERS BEACH, FLORIDA 33931
(239) 765-0865

**MECHANICAL, ELECTRICAL &
 PLUMBING ENGINEERS**
GRINER ENGINEERING, INC.

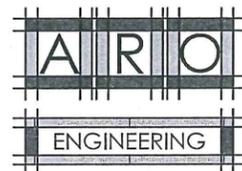
1628 FIRST AVENUE NORTH
 ST. PETERSBURG, FLORIDA 33713
 PHONE: (727) 822-2335 FAX: (727) 821-3361
 www.griner-engineering.net



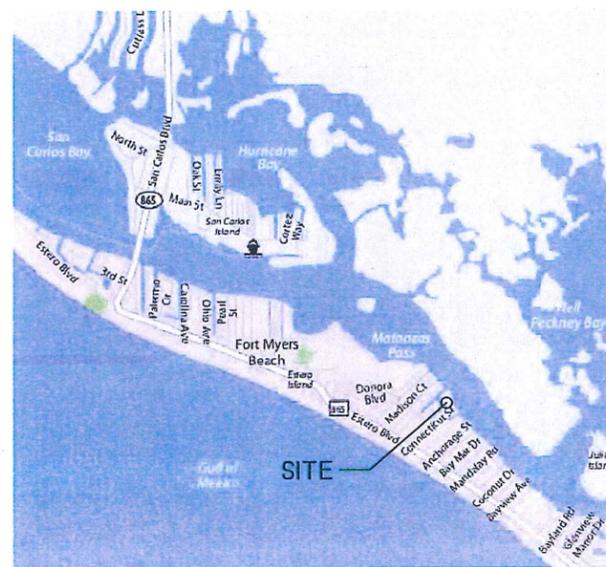
ARCHITECT
RENKER · EICH · PARKS ARCHITECTS
 LIC. AA C001447 1609 Dr. Martin Luther King Jr. Street North, St. Petersburg, Florida 33704-4203 (727-821-2986)
 www.reparch.com

100% PERMIT SET
DATE: SEPTEMBER 27TH, 2013

STRUCTURAL ENGINEER
ARO ENGINEERING
 300 3RD AVE N., SUITE 3
 ST. PETERSBURG, FLORIDA 33701
 PHONE: (727) 527-5900

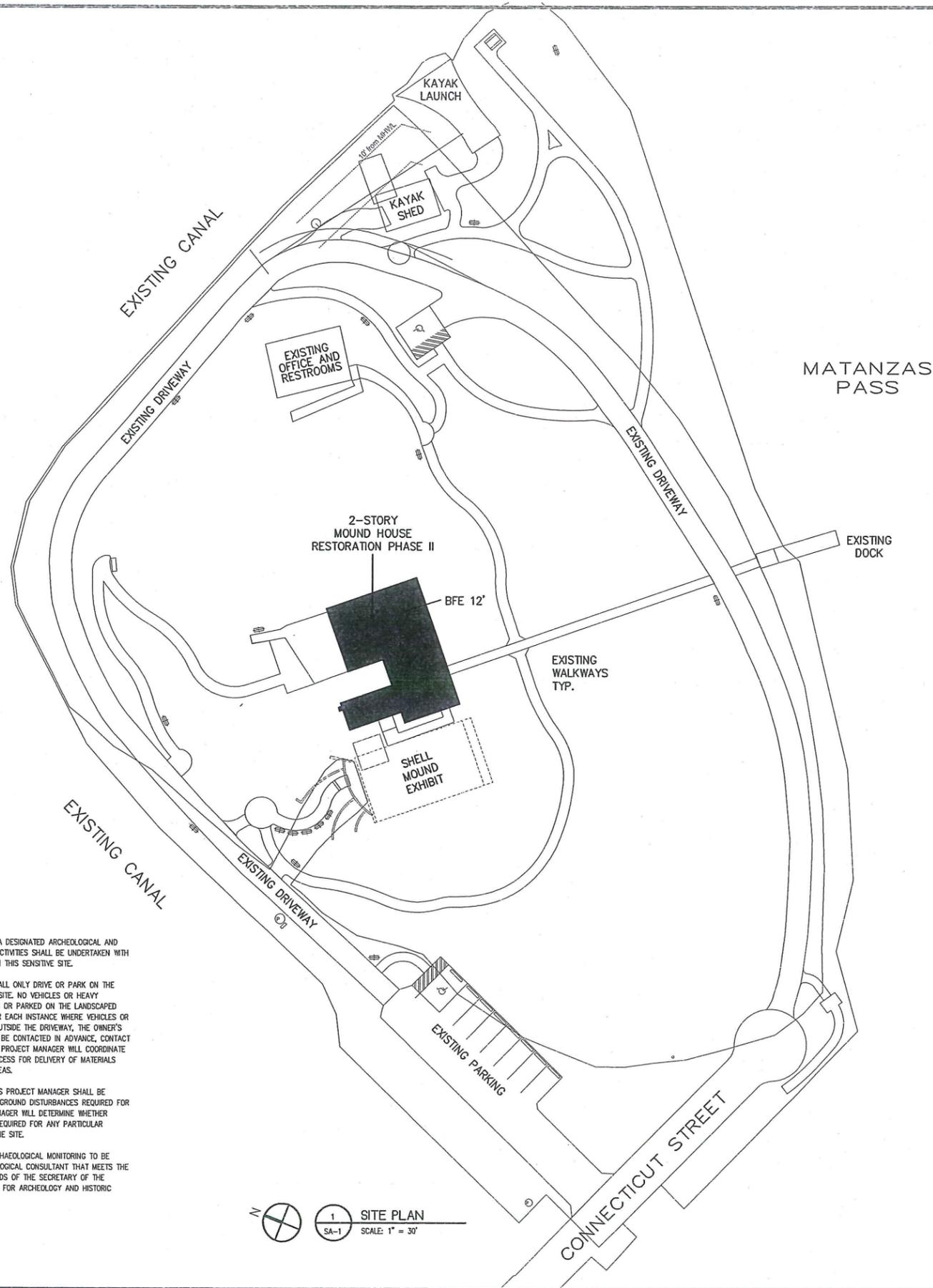


LOCATION MAP



INDEX TO DRAWINGS

COVER	COVER SHEET		
GA-1	ARCHITECTURAL GENERAL NOTES	S-1	STRUCTURAL ROOF MODIFICATION PLAN
SA-1	SITE PLAN	S-2	STRUCTURAL DETAILS
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LS-1.2	SECOND FLOOR LIFESAFETY PLAN	FP-2	FIRE PROTECTION SITE PLAN
A-1.1	FIRST FLOOR PLAN	FP-3	FIRE PROTECTION FLOOR PLANS
A-1.2	SECOND FLOOR PLAN	FP-4	FIRE PROTECTION BUILDING SECTION AND DETAILS
A-3.1	BUILDING ELEVATIONS	E-1	ELECTRICAL COVER SHEET
A-3.2	BUILDING SECTIONS	E-2	ELECTRICAL SITE PLAN
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A-5.9	ENLARGED DETAILS-FIREPLACE	E-11	FIRE ALARM SPECIFICATION
A-5.10	ENLARGED DETAILS-BATHROOM CLOSET	E-12	FIRE ALARM SPECIFICATION
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SITE NOTES

1. THE ENTIRE MOUND HOUSE SITE IS A DESIGNATED ARCHEOLOGICAL AND HISTORICAL SITE. ALL CONSTRUCTION ACTIVITIES SHALL BE UNDERTAKEN WITH CAREFUL PLANNING AND EXECUTION ON THIS SENSITIVE SITE.
2. SITE ACCESS: THE CONTRACTOR SHALL ONLY DRIVE OR PARK ON THE PERIMETER DRIVEWAY ENCRICLING THE SITE. NO VEHICLES OR HEAVY EQUIPMENT SHALL BE DRIVEN ACROSS OR PARKED ON THE LANDSCAPED AREAS OUTSIDE OF THE DRIVEWAY. FOR EACH INSTANCE WHERE VEHICLES OR EQUIPMENT NEED ACCESS TO AREAS OUTSIDE THE DRIVEWAY, THE OWNER'S DESIGNATED PROJECT MANAGER SHALL BE CONTACTED IN ADVANCE, CONTACT PHONE: 239-765-0202. THE OWNER'S PROJECT MANAGER WILL COORDINATE WITH THE CONTRACTOR NECESSARY ACCESS FOR DELIVERY OF MATERIALS AND EQUIPMENT AND ANY STAGING AREAS.
3. GROUND DISTURBANCE: THE OWNER'S PROJECT MANAGER SHALL BE NOTIFIED IN ADVANCE REGARDING ANY GROUND DISTURBANCES REQUIRED FOR THE WORK. THE OWNER'S PROJECT MANAGER WILL DETERMINE WHETHER ARCHEOLOGICAL MONITORING WILL BE REQUIRED FOR ANY PARTICULAR GROUND DISTURBANCE LOCATION ON THE SITE.
4. PROFESSIONAL QUALIFICATIONS: ARCHAEOLOGICAL MONITORING TO BE CONDUCTED BY A QUALIFIED ARCHAEOLOGICAL CONSULTANT THAT MEETS THE PROFESSIONAL QUALIFICATION STANDARDS OF THE SECRETARY OF THE INTERIORS STANDARDS AND GUIDELINES FOR ARCHEOLOGY AND HISTORIC PRESERVATION.



**MOUND HOUSE
RESTORATION PHASE II
TOWN OF FORT MYERS BEACH, FLORIDA**

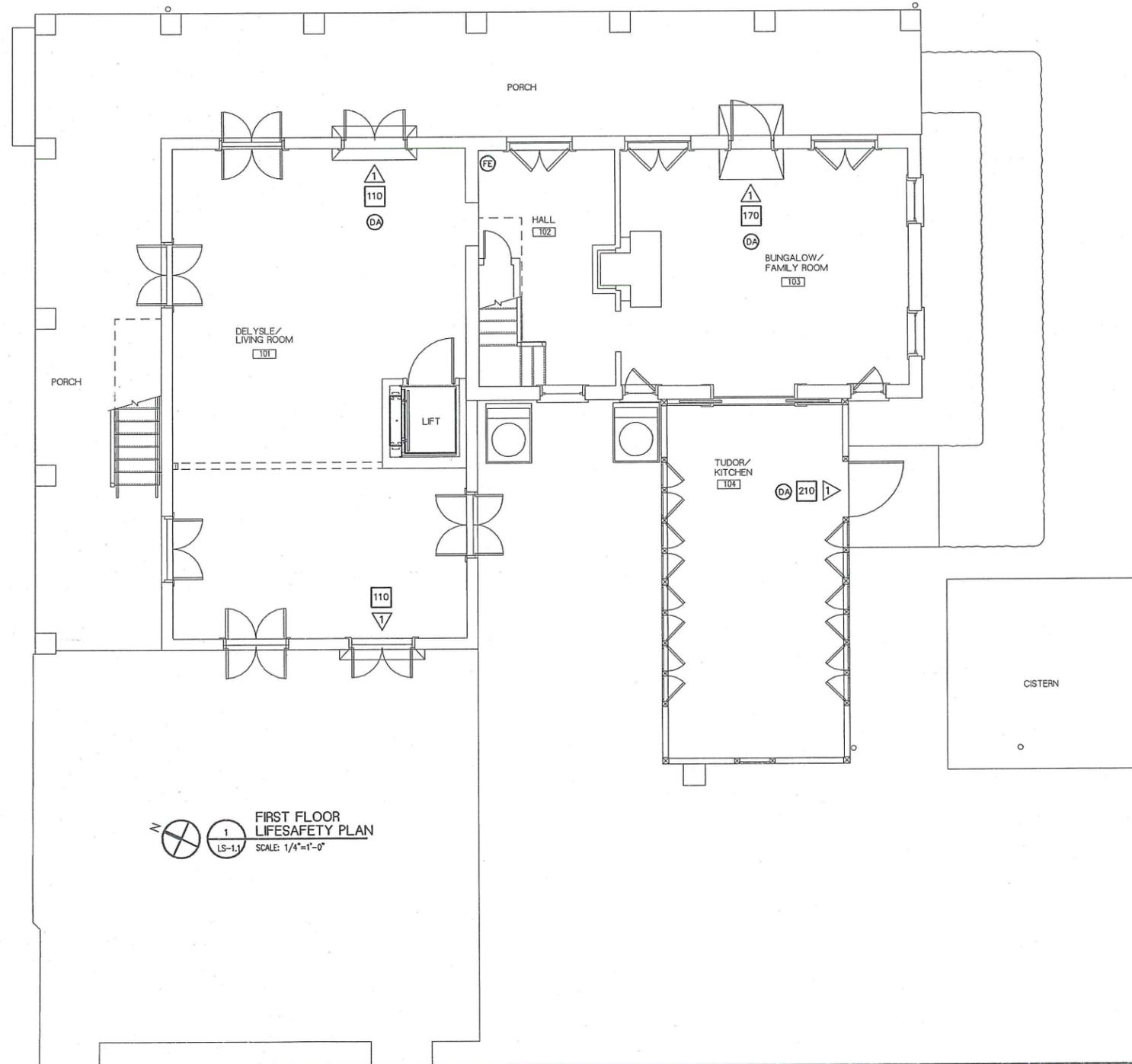
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DATE: 09/07/2012
DRAWN BY: PCP
REVISIONS:
PERMIT SET 09/27/2013

SHEET TITLE:
SITE PLAN

SHEET NO.:
SA-1
OF SHEETS

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LIFE SAFETY SYMBOL KEY	
	PRIMARY EGRESS
	SECONDARY EGRESS
	EGRESS CAPACITY OF EXIT
	ROOM NAME & NUMBER
	WALL MOUNTED FIRE EXTINGUISHER
	DISABLED EGRESS ACCESS



FIRST FLOOR
LIFESAFETY PLAN
SCALE: 1/4"=1'-0"

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LIC. NO. 0001447

MOUND HOUSE
RESTORATION PHASE II
TOWN OF FORT MYERS BEACH, FLORIDA

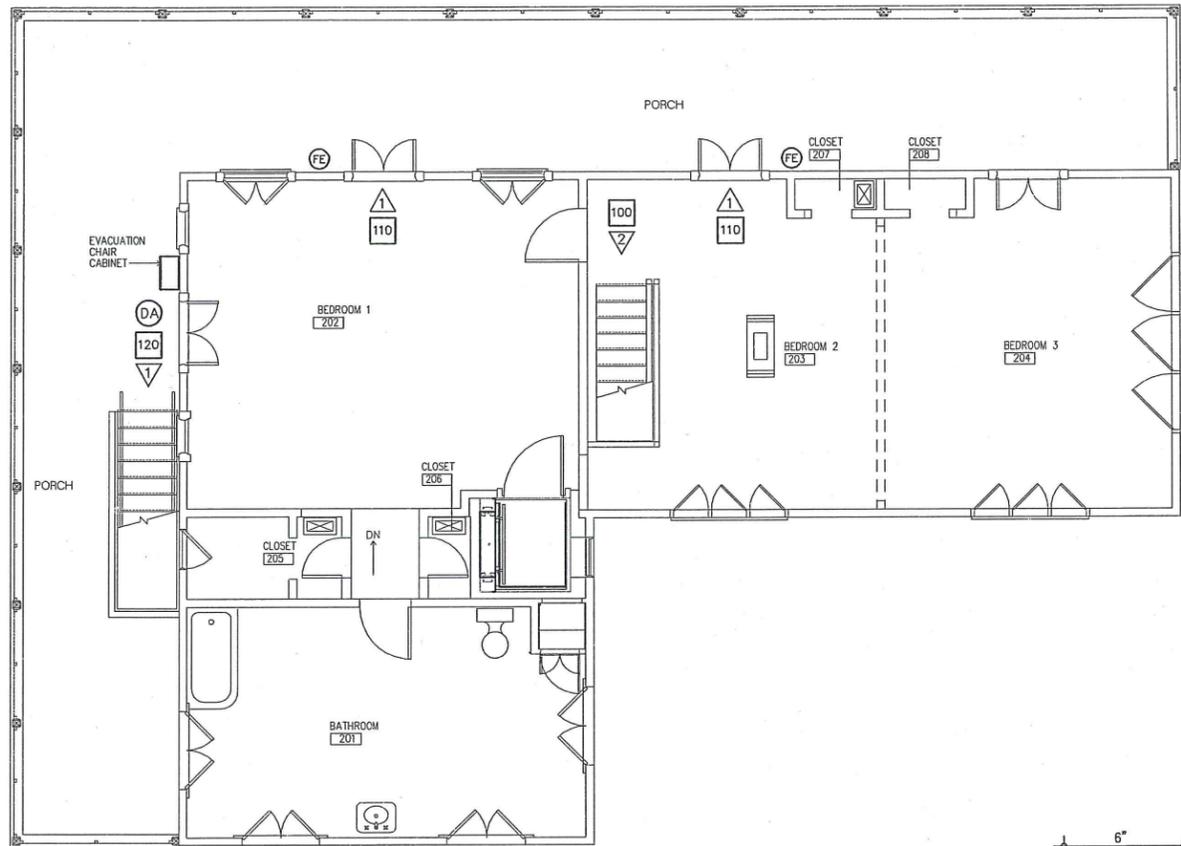
PROJECT NO.: 1105
DATE: 09/07/2012
DRAWN BY: PCP
REVISIONS:
PERMIT SET 09/27/2013

SHEET TITLE:
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LIFESAFETY PLAN

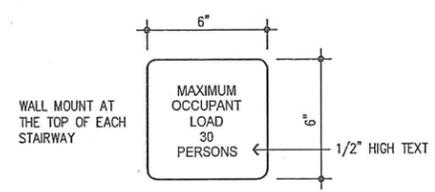
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LS-1.1
OF SHEETS

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LIFE SAFETY SYMBOL KEY	
	PRIMARY EGRESS
	SECONDARY EGRESS
	EGRESS CAPACITY OF EXIT
	ROOM NAME & NUMBER
	WALL MOUNTED FIRE EXTINGUISHER
	DISABLED EGRESS ACCESS



SECOND FLOOR LIFESAFETY PLAN
 1 LS-1.2 SCALE: 1/4"=1'-0"



SIGNAGE (QUANTITY = 2)
 2 LS-1.2 SCALE: 1/4"=1'-0"

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**MOUND HOUSE
 RESTORATION PHASE II
 TOWN OF FORT MYERS BEACH, FLORIDA**

PROJECT NO.: 1105
 DATE: 09/07/2012
 DRAWN BY: PCP
 REVISIONS:

SHEET TITLE:
 SECOND FLOOR LIFESAFETY PLAN

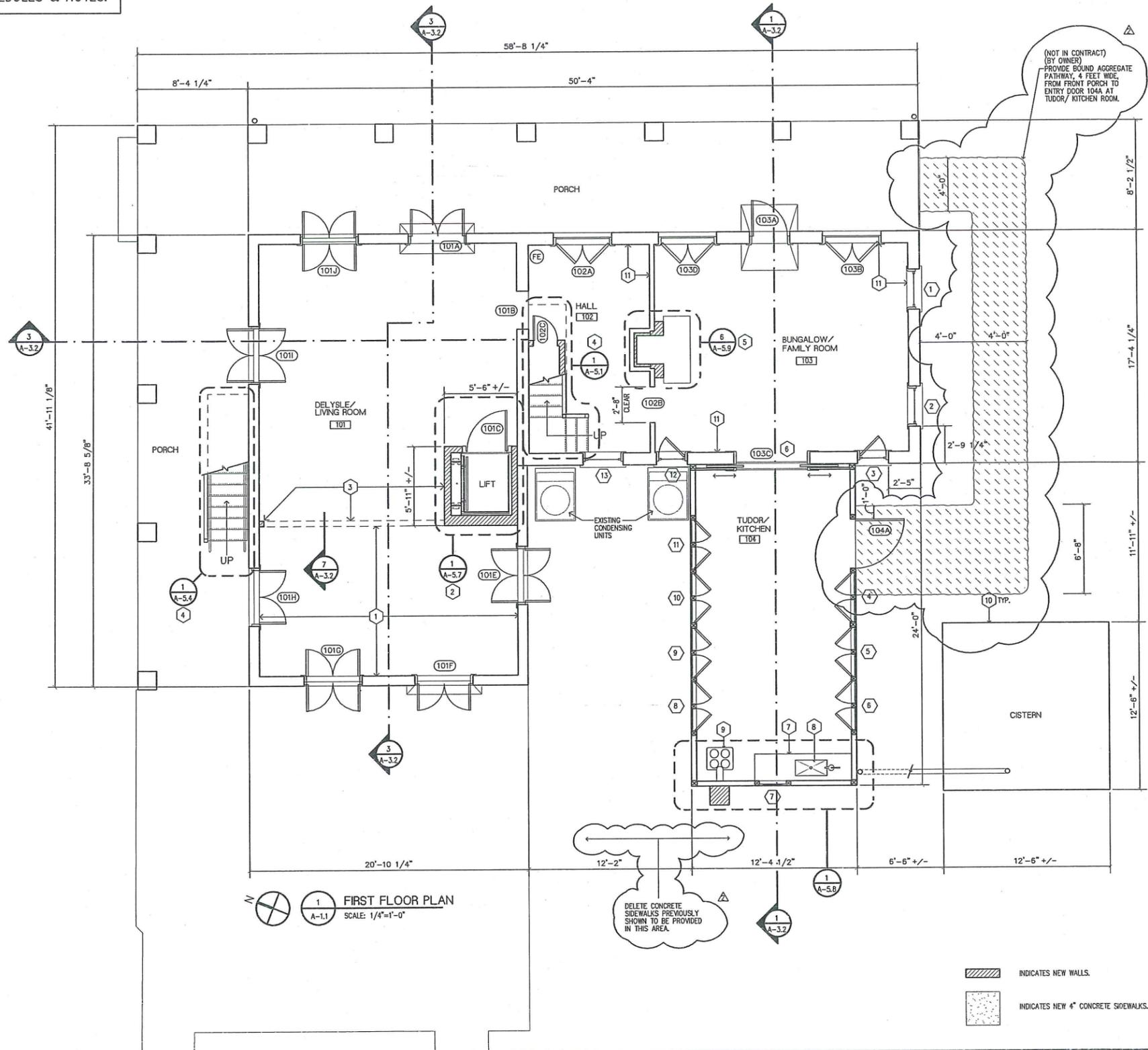
SHEET NO.:
LS-1.2

OF SHEETS

SEE SPECIFICATIONS FOR DOOR AND WINDOW SCHEDULES & NOTES.

CONSTRUCTION NOTES

1. USING A CONCRETE SAW CUT CONCRETE SLAB INTO SECTIONS AND REMOVE FLOOR SLAB FROM ROOM. INSTALL NEW PT 2 X 6 FLOOR JOISTS AT 1'-4" OC RESTING ON SHELL GRADE. FLOOR JOISTS TO RUN NORTH / SOUTH. NEW 1X4 (3/4" x 3 1/4") T & G SYP FLOORING TO RUN EAST / WEST TO MATCH NEW FLOORING IN ROOM 101.
2. INSTALL NEW LIFT ON EXISTING CONCRETE SLAB. INSTALL NEW FRAMING AND BLOCKING WITH NEW 3 1/4" T & G DOUBLE BEADED SIDING TO COMPLETE INSTALLATION OF LIFT. INSTALL (2) NEW LAYERS OF 5/8" GWB TYPE 'X' SHEATHING INSIDE SHAFT.
3. INSTALL BEAM AND PARTITION WALLS. SEE SHEET A-3.2.
4. INSTALL NEW STAIR.
5. RECONSTRUCT FIREPLACE FIREBOX AND HEARTH.
6. REPAIR FLOORING ADJACENT TO OPENING 103C.
7. INSTALL NEW WOOD BASE CABINETS.
8. INSTALL SALVAGED ANTIQUE SINK AND PITCHER PUMP. (SALVAGED ITEMS TO BE SOURCED BY CONTRACTOR)
9. INSTALL CAST IRON WOOD BURNING STOVE, FLUE PIPE AND MASONRY CHIMNEY (NON-OPERATING). SEE SPEC. 10999.
10. CISTERN SIDEWALLS FINISH NOTE: PROVIDE 200 SQ. FT. OF INTEGRALLY COLORED STUCCO, TEXTURE TO MATCH THE EXTERIOR WALLS OF THE TUDOR WING.
11. RESTORE BASEBOARD TO HISTORICAL PROFILE. TYPICAL IN ROOMS 102 & 103. SEE DETAIL 19/A-B.2.



1 FIRST FLOOR PLAN
SCALE 1/4"=1'-0"

**MOUND HOUSE
RESTORATION PHASE II
TOWN OF FORT MYERS BEACH, FLORIDA**

PROJECT NO.: 1105
DATE: 09/07/2012
DRAWN BY: PCP
REVISIONS:
ADDENDUM 10/03/2012
PERMIT SET 09/27/2013

SHEET TITLE:
FIRST FLOOR PLAN

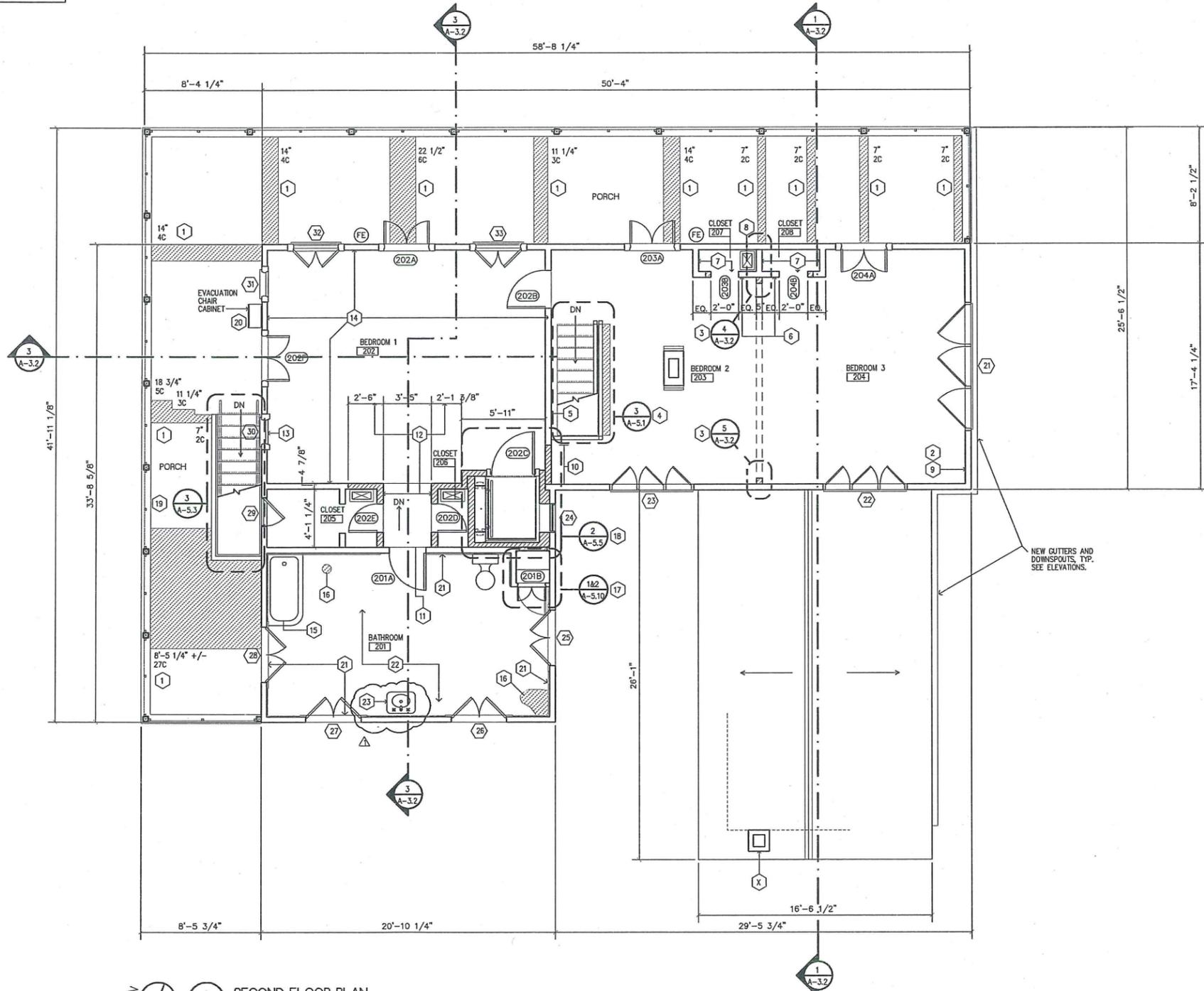
SHEET NO.:
A-1.1
OF SHEETS

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1009 Dr. Martin Luther King Jr. Street North · St. Petersburg, Florida · 33704-4203 · (727-651-2886)
LIC. NO. C001447

SEE SPECIFICATIONS FOR DOOR AND WINDOW SCHEDULES & NOTES.

CONSTRUCTION NOTES (X)

1. REMOVE PLYWOOD INFILL FLOORING WHERE STILL IN PLACE AT THE SHOWN LOCATIONS. INSTALL NEW 1" X 4" (BY APPROX. 3" WIDE (MATCH EXISTING)) T & G KDAT SYP FLOORING. SECURE ANY LOOSE BOARDS OVER THE ENTIRE FLOOR AREA BY FACE NAILING, SETTING THE NAILS AND FILLING THE NAIL HOLES.
2. PATCH HOLE IN WALL BY REPLACING 5 COURSES OF DOUBLE BEADED T & G WOOD SIDING NOW MISSING. REMOVE SMALL PIECES AT CORNER AND REPLACE WITH FULL PIECES MINIMUM 4'-0" LONG. TOOTH INTO SIDING UNDER WINDOW SO THAT NO TWO END JOINTS ARE ADJACENT. ALL JOINTS TO BE LOCATED OVER A STUD.
3. INSTALL BEAM AND PARTIAL WOOD WALL. REMOVE JACK SHORES.
4. INSTALL NEW STAIR.
5. PATCH WOOD SIDING AT LIGHT FIXTURE REMOVAL. TRIM END OF CUT BOARD, NEAT AND SQUARE, INFILL WITH SIDING TO MATCH. PATCH OTHER MINOR DAMAGE ON BOARDS ABOVE AND BELOW.
6. REPLACE TOP ROW OF BEADED T & G SIDING OVER HEAD OF DOORS. SEE DOOR SCHEDULE FOR NEW WOOD TRIM OF DOOR OPENINGS.
7. INSTALL STUDS AND BLOCKING AS REQUIRED TO COMPLETE WALL FRAMING. INSTALL BEADED T & G SIDING AT MISSING WALL FACES IN CLOSETS. (APPROX. 75 SQ. FT.). FLOOR TO CEILING. INSTALL QUARTER ROUNDS TRIM AT FLOOR AND CEILING. INSTALL BASEBOARD WITH CAP TRIM (SEE DETAIL 20/A-B.2) AND QUARTER ROUND AT FLOOR.
8. INSTALL BASEBOARD CAP AT BASEBOARD (SEE DETAIL 20/A-B.2) ON NORTH, EAST AND SOUTH WALLS. REPLACE TWO FEET OF DAMAGED BASEBOARD CAP ON WEST WALL.
9. PATCH HOLE IN BASEBOARD CAP AND ADJACENT SIDING BY USING A WOOD PLUG, ADHESIVE AND WOOD FILLER. SAND TO A SMOOTH AND FAIR SURFACE READY FOR FINISHING.
10. INFILL MISSING WALL SIDING FROM FLOOR TO 6'-8" +/- HIGH (APPROX. 50 SQ. FT.) BY REPLACING DOUBLE BEADED T & G WOOD SIDING. REPLACE WITH FULL PIECES MINIMUM 4'-0" LONG. TOOTH INTO SIDING ABOVE STAIR SO THAT NO TWO END JOINTS ARE ADJACENT. ALL JOINTS TO BE LOCATED OVER A STUD. INFILL BOTH SIDES OF WALL. STUDS ALREADY IN PLACE. INSTALL BASEBOARD WITH CAP TRIM (SEE DETAIL 20/A-B.2) AND QUARTER ROUND AT FLOOR.
11. INSTALL 1 X BOARD TO COMPLETE RAMP TO BATHROOM. MILL BOARD AS REQUIRED FOR SMOOTH TRANSITION AT TILE SILL. SECURE WITH FACE NAILS, SET AND FILLED.
12. INSTALL STUDS AND BLOCKING AS REQUIRED TO COMPLETE WALL FRAMING. INSTALL BEADED T & G SIDING AT MISSING WALL FACES IN BEDROOM 1. (APPROX. 100 SQ. FT.). FLOOR TO CEILING. INSTALL QUARTER ROUNDS TRIM AT FLOOR AND CEILING. INSTALL BASEBOARD WITH CAP TRIM (SEE DETAIL 20/A-B.2) AND QUARTER ROUND AT FLOOR. REPLACE WITH FULL PIECES. TOOTH INTO ADJACENT SIDING SO THAT NO TWO END JOINTS ARE ADJACENT. ALL JOINTS TO BE LOCATED OVER A STUD.
13. REMOVE COPPER GAS TUBE THROUGH BASEBOARD. PATCH HOLE IN BASEBOARD BY USING A WOOD PLUG, ADHESIVE AND WOOD FILLER. SAND TO A SMOOTH AND FAIR SURFACE READY FOR FINISHING.
14. INSTALL BASEBOARD CAP AT BASEBOARD ON ALL WALLS. SEE DETAIL 20/A-B.2.
15. PROCURE AND INSTALL SALVAGED PERIOD BATHTUB, BUILT-IN TYPE WITH OUTSIDE ROUNDED CORNER AND PERIOD PLUMBING FIXTURES FOR DISPLAY (NO WATER OR DRAIN CONNECTIONS) PLUMBING FIXTURES TO INCLUDE DRAIN, FAUCETS AND SPOUT, NO SHOWER. CONSULT WITH ARCHITECT ON SELECTIONS.
16. PATCH FLOOR WITH CONCRETE INFILL, MORTAR SETTING BED AND REPLICATION TILES TO MATCH EXISTING.
17. RESTORE CLOSET BY INSTALLING, SHELVES AND DOORS WITH DOOR HARDWARE.
18. INSTALL HANDICAPPED LIFT AND ADJACENT CONSTRUCTION TO COMPLETE LIFT INSTALLATION.
19. INSTALL NEW STAIR.
20. PROVIDE EMERGENCY EVACUATION CHAIR FOR STAIRWAY DESCENT, INCLUDING CABINET. BASIS OF DESIGN: GARAVENTA EVACUATION CHAIR, MODEL "EVACU-TRAC CD7", WITH STORAGE CABINET.
21. REPLACE NON-ORIGINAL GLAZED WALL TILE, COVE BASE AND BOX CAP TILES. MATCH WITH RESTORATION TILE, SIZE, COLOR, GLAZE, SHEEN, ETC...
22. INSTALL RESTORATION/ REPLICATION MOSAIC FLOOR TILE TO MATCH, SIZE, COLORS, SHEEN, PATTERNS, ETC... CLEAN REMAINING EXISTING MOSAIC FLOOR TILE FOR A COMPLETE RESTORED FLOOR.
23. PROCURE AND INSTALL SALVAGED PERIOD PEDESTAL SINK, AND PERIOD PLUMBING FIXTURES FOR DISPLAY (NO WATER OR DRAIN CONNECTIONS) PLUMBING FIXTURES TO INCLUDE DRAIN, FAUCETS AND SPOUT. CONSULT WITH ARCHITECT ON SELECTIONS.



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

INDICATES NEW WALLS.
INDICATES NEW FLOORING. SEE NOTES FOR OTHER AREAS OR GENERAL TREATMENT.

MOUND HOUSE
RESTORATION PHASE II
TOWN OF FORT MYERS BEACH, FLORIDA

PROJECT NO.: 1105
DATE: 09/07/2012
DRAWN BY: PCP
REVISIONS:
PERMIT SET 09/27/2013

SHEET TITLE:
SECOND FLOOR PLAN

SHEET NO.:
A-1.2
OF SHEETS

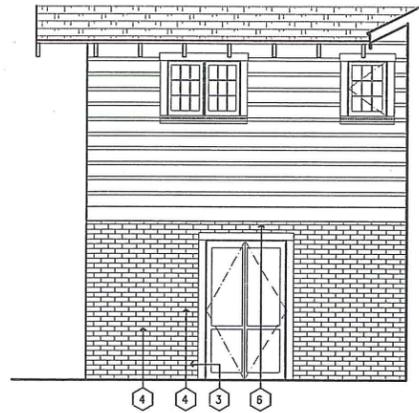
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LIC. #A 0001447



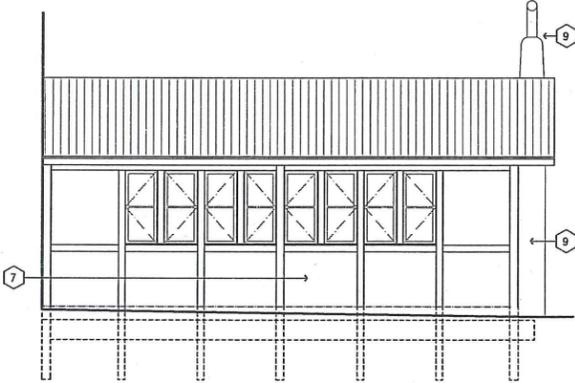
1 NORTH ELEVATION
A-3.1 1/4" = 1'0"



2 EAST ELEVATION
A-3.1 1/4" = 1'0"



5 PARTIAL SOUTH ELEVATION
A-3.1 1/4" = 1'-0"



6 PARTIAL NORTH ELEVATION
A-3.1 1/4" = 1'-0"

NOTES

- GENERAL NOTE: AFTER SPECIFIC REPAIRS NOTED BELOW ARE COMPLETED ON THE BUILDING FACADES ALL MASONRY IS TO BE REVIEWED AND ANY OPEN MORTAR JOINTS ARE TO BE RAKED OUT AND REPOINTED SO THAT NO OPEN JOINTS EXIST ON THE MASONRY PORTION OF THE FACADE.
- COLUMN REPAIRS
 - SHORE CEILING OF PORCH ABOVE TO RELIEVE PRESSURE OFF COLUMN TOPS.
 - CAREFULLY REMOVE ALL LOOSE BRICKS FROM TOPS OF COLUMNS AND CLEAN OFF ALL MORTAR IN PREPARATION FOR RELAYING BRICKS.
 - REMOVE ALL FRAMING LUMBER USED IN PLACE OF BRICKS AT COLUMN TOPS.
 - RESET, WITH MORTAR, ALL REMOVED BRICKS AND NEW BRICKS TO MAKE COLUMN TOPS COMPLETE. USE NEW CAST STONE BRICKS MADE TO MATCH EXISTING IN SIZE, SURFACE TEXTURE AND COLOR.
 - REPAIR ANY DETERIORATED WOOD FRAMING AS NECESSARY.
 - LET NEW MASONRY CURE.
 - REMOVE SHORING.
 - RESET ONE LOOSE BRICK BY REMOVING BRICK, CLEANING OFF MORTAR, APPLYING NEW MORTAR AND RESETTING IN ORIGINAL LOCATION.
 - REPLACE ONE DAMAGED / DETERIORATED BRICK UNIT BY CAREFULLY CUTTING AND OR DRILLING THE UNIT INTO PIECES SO AS NOT TO DAMAGE ADJACENT BRICKS. CLEAN OUT THE MORTAR AND SET NEW BRICK WITH NEW MORTAR. REPLACEMENT BRICK IS TO BE CAST STONE BRICK MADE TO MATCH EXISTING IN SIZE, SURFACE TEXTURE AND COLOR.
 - REPLACE TWO DAMAGED / DETERIORATED BRICK UNITS BY CAREFULLY CUTTING AND OR DRILLING THE UNITS INTO PIECES SO AS NOT TO DAMAGE ADJACENT BRICKS. CLEAN OUT THE MORTAR AND SET NEW BRICKS WITH NEW MORTAR. REPLACEMENT BRICKS ARE TO BE CAST STONE BRICKS MADE TO MATCH EXISTING IN SIZE, SURFACE TEXTURE AND COLOR.
 - REPLACE THREE DAMAGED / DETERIORATED BRICK UNITS BY CAREFULLY CUTTING AND OR DRILLING THE UNITS INTO PIECES SO AS NOT TO DAMAGE ADJACENT BRICKS. CLEAN OUT THE MORTAR AND SET NEW BRICKS WITH NEW MORTAR. REPLACEMENT BRICKS ARE TO BE CAST STONE BRICKS MADE TO MATCH EXISTING IN SIZE, SURFACE TEXTURE AND COLOR.
 - RESET LOOSE BRICKS BY REMOVING BRICKS, CLEANING OFF MORTAR, APPLYING NEW MORTAR AND RESETTING IN ORIGINAL LOCATION.
 - SURVEY THE ELEVATIONS OF THE TUDOR WING OF THE HOUSE TO DETERMINE THE EXTENT OF ALL OPEN JOINTS BETWEEN THE WALL INFILL PANELS AND THE WOOD FRAME. RAKE OUT ALL OPEN JOINTS, INSTALL NEW BACING ROD AS NECESSARY AND RECAULK. REPAINT CAULKED JOINTS.
 - INSTALL NEW LEAD COATED COPPER GUTTER, DOWNSPOUT AND LEADER THIS LINE IS A REPLICA OF THE ORIGINAL LINE BUT IS NOT TO BE ACTIVE. THE DOWNSPOUT AT THE SOUTHEAST CORNER OF THE TWO STORY PORTION OF THE HOUSE IS TO REMAIN ACTIVE AND DRAIN THE MAIN ROOF WATER. THE DOWNSPOUT AT THE SOUTHWEST CORNER OF THE ONE STORY WING IS TO DRAIN THE GUTTER FOR THE ONE STORY WING. THE NEARLY HORIZONTAL PIPING IS TO BE INACTIVE AND CARRY NO WATER.
 - RECONSTRUCTED CHIMNEY, SEE SHEET A-5.8.



3 WEST ELEVATION
A-3.1 1/4" = 1'0"



4 SOUTH ELEVATION
A-3.1 1/4" = 1'0"

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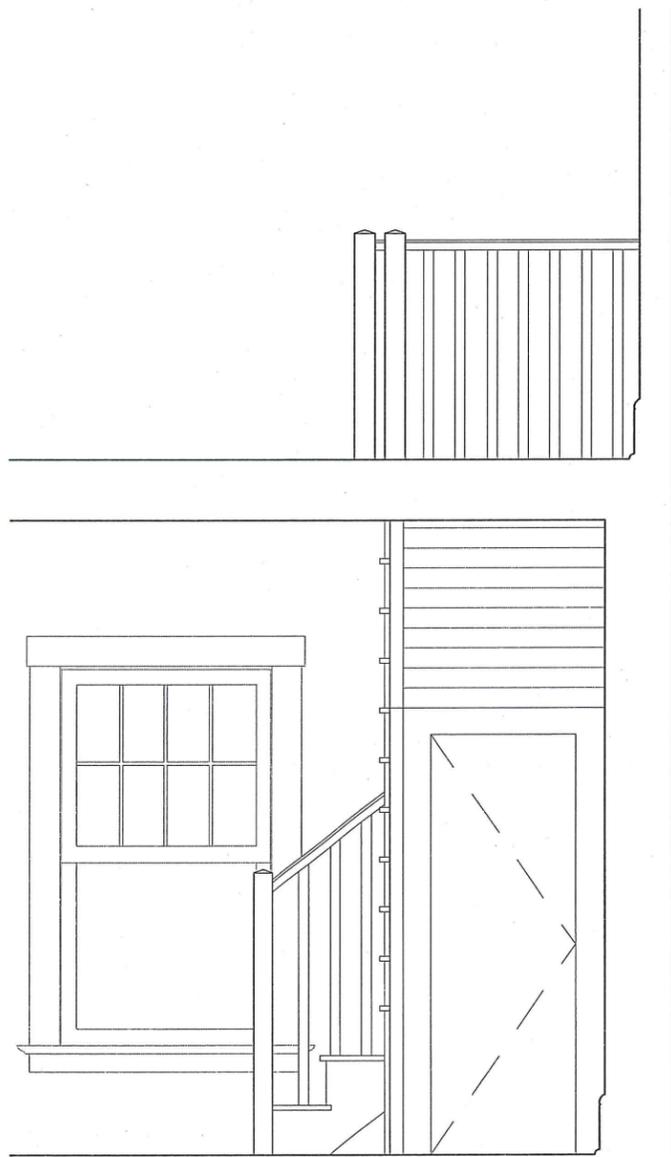
MOUND HOUSE
RESTORATION PHASE II
TOWN OF FORT MYERS BEACH, FLORIDA

PROJECT NO.: 1105
DATE: 09/07/2012
DRAWN BY: PCP
REVISIONS:

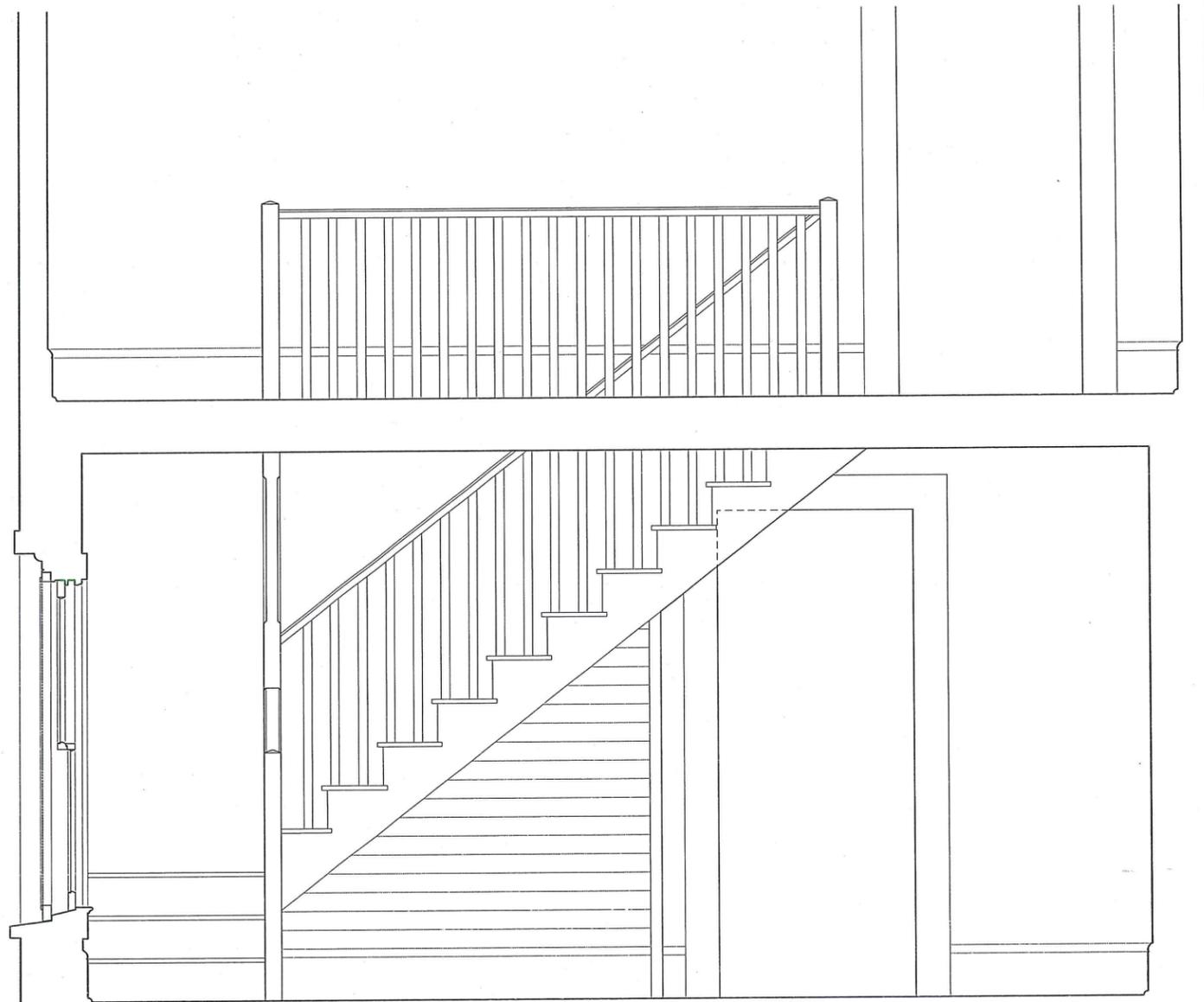
SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:
A-3.1

OF SHEETS



2
A-5.2
INTERIOR STAIR
ENLARGED STAIR ELEVATION
SCALE: 1"=1'-0"



1
A-5.2
INTERIOR STAIR
ENLARGED STAIR ELEVATION
SCALE: 1"=1'-0"



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MOUND HOUSE
RESTORATION PHASE II
TOWN OF FORT MYERS BEACH, FLORIDA

PROJECT NO.: 1105
DATE: 09/07/2012
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REVISIONS:

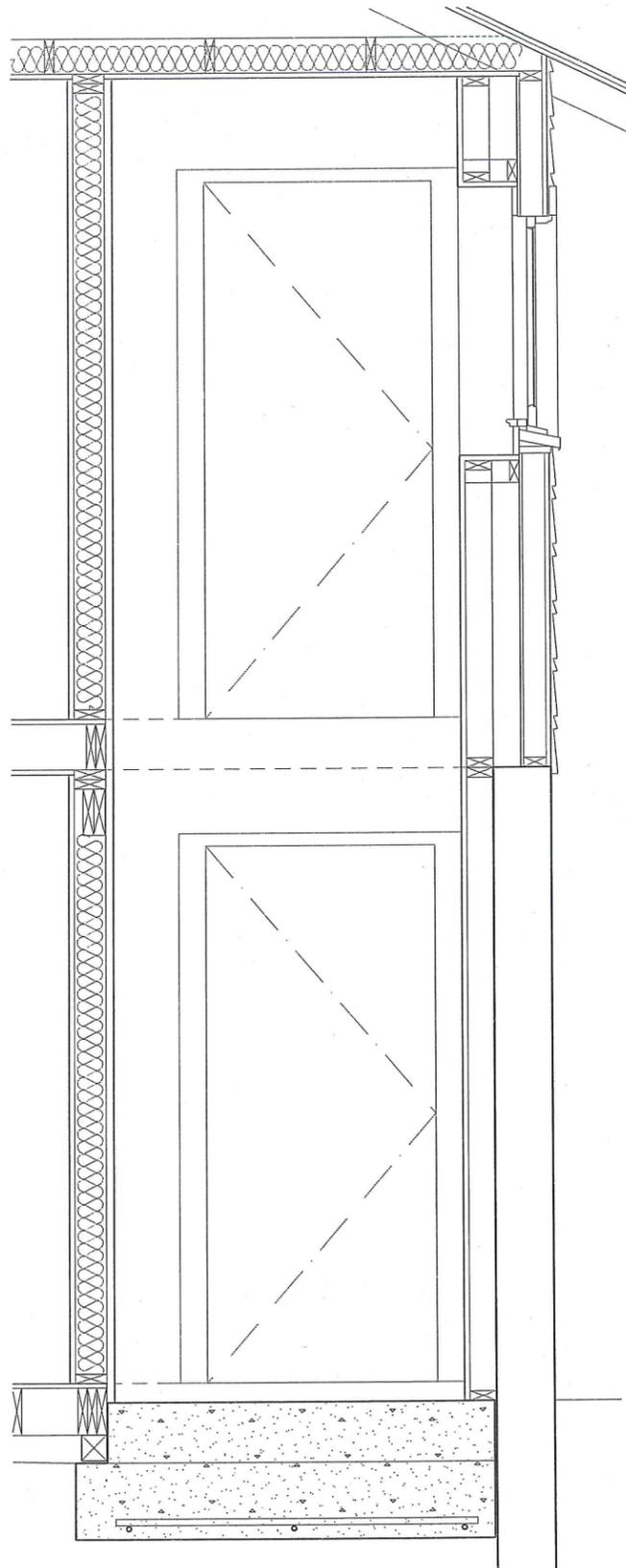
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INTERIOR STAIR ELEVATIONS
HISTORICAL RECONSTRUCTION

SHEET NO.:

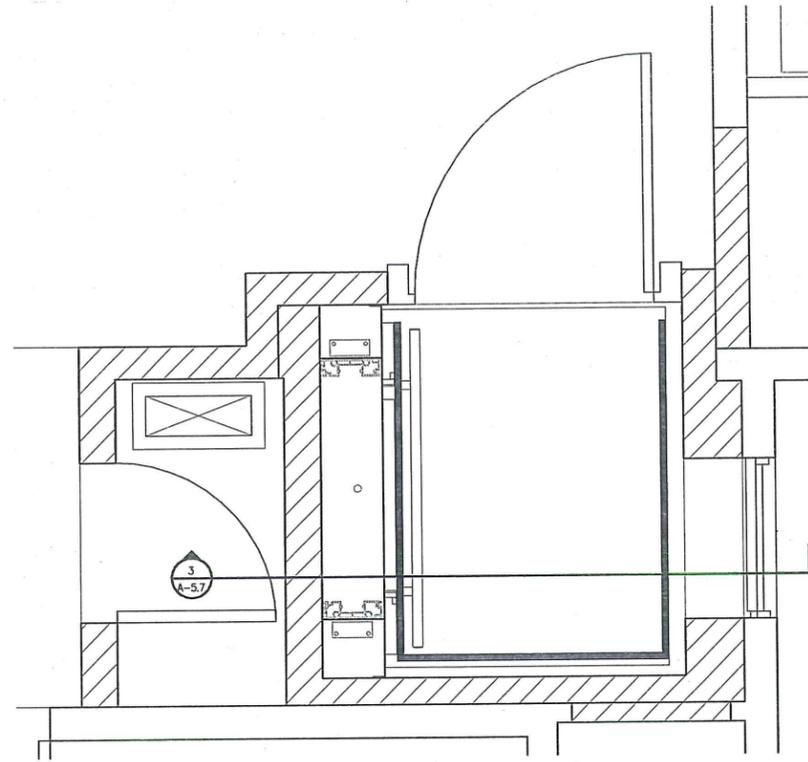
A-5.2

OF SHEETS

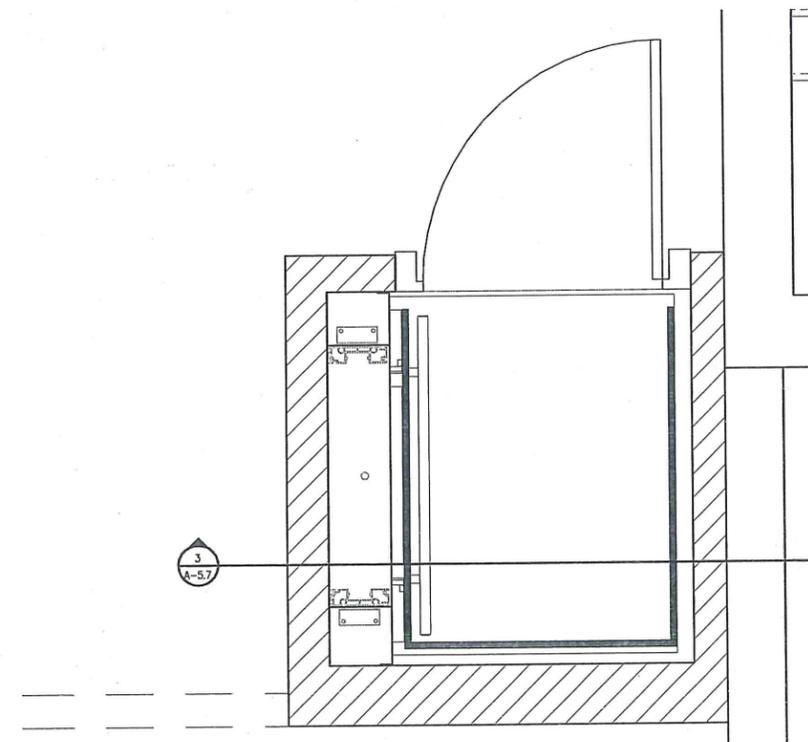
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9/11/2012 11:06 AM



3
A-5.7
WHEELCHAIR LIFT, SHAFTWAY
N-S BUILDING SECTION
SCALE: 1"=1'-0"



2
A-5.7
WHEELCHAIR LIFT, 2ND FLOOR
ENLARGED FLOOR PLAN (ROOM 202)
SCALE: 1"=1'-0"



1
A-5.7
WHEELCHAIR LIFT, 1ST FLOOR
ENLARGED PLAN (ROOM 101)
SCALE: 1"=1'-0"



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MOUND HOUSE
RESTORATION PHASE II
TOWN OF FORT MYERS BEACH, FLORIDA

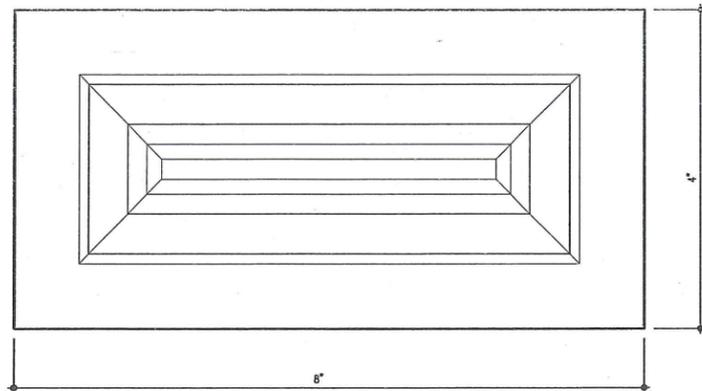
PROJECT NO.: 1105
DATE: 09/07/2012
DRAWN BY: PCP
REVISIONS:

SHEET TITLE:
ENLARGED PLANS
WHEELCHAIR LIFT PLANS
SHAFTWAY SECTION

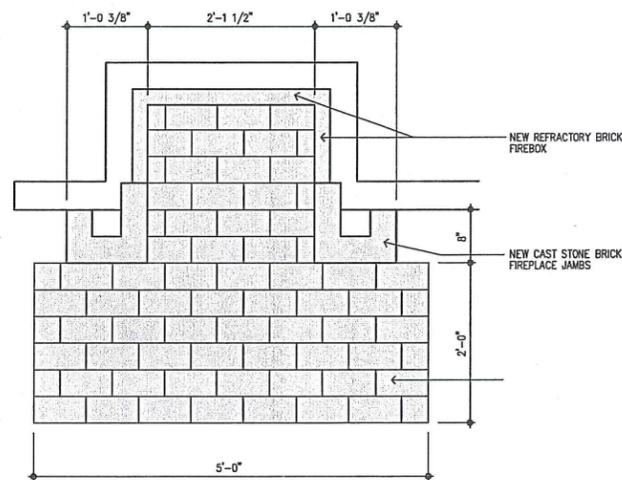
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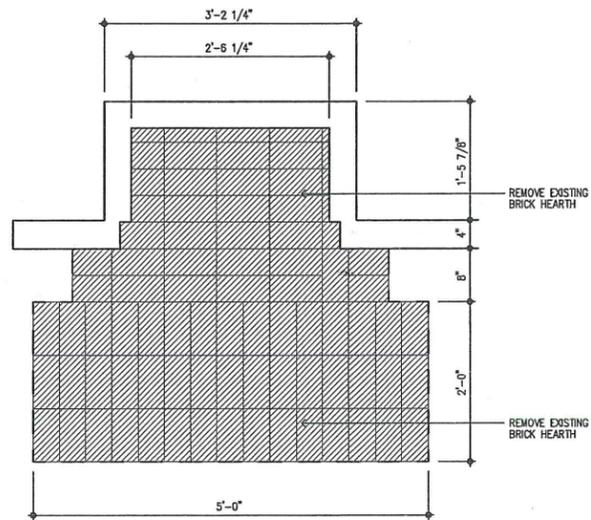
OF SHEETS



7
A-5.9
DECORATIVE CAST STONE
BRICK PLAN
FULL SCALE

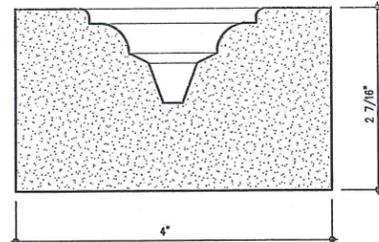


6
A-5.9
RECONSTRUCTION
FIREPLACE PLAN
SCALE: 1"=1'-0"

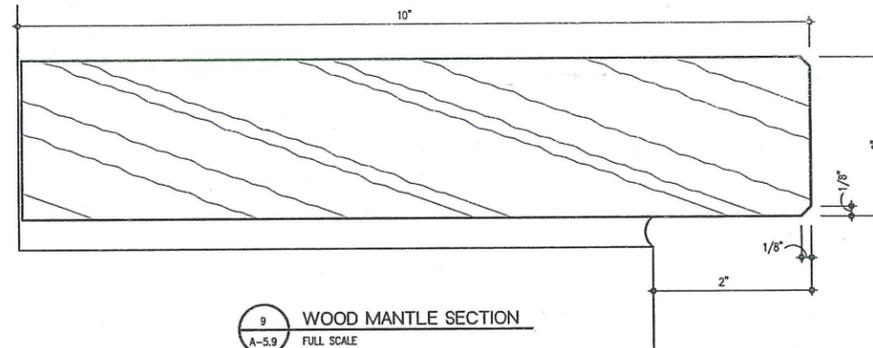


5
A-5.9
EXISTING/ DEMOLITION
FIREPLACE PLAN
SCALE: 1"=1'-0"

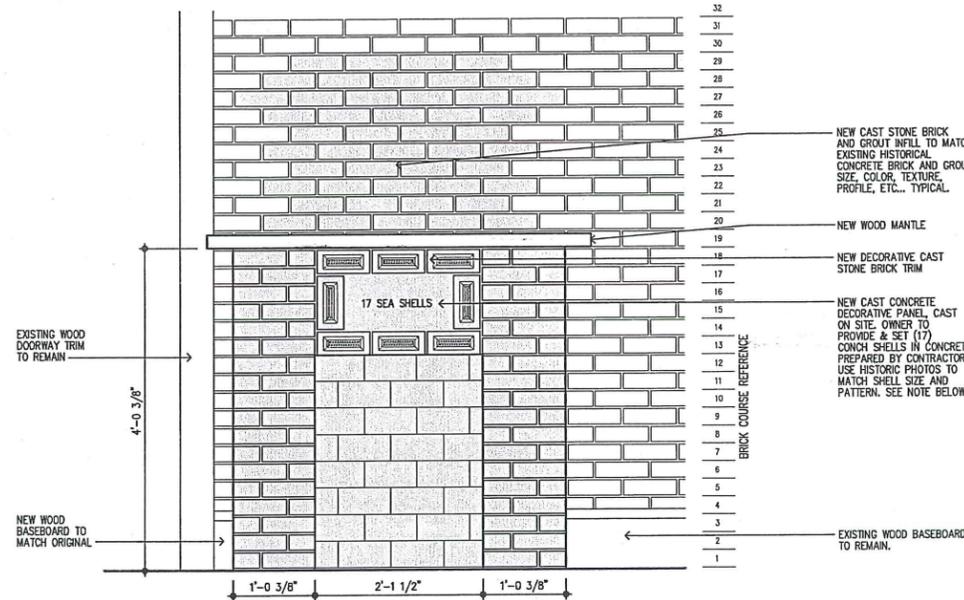
NOTE: DUE TO THE REQUIREMENT TO MATCH THE SIZE, COLOR AND SURFACE TEXTURE OF THE CONCRETE BRICKS, IT IS NECESSARY TO USE CUSTOM CAST STONE BRICKS. MODERN, READILY AVAILABLE CONCRETE BRICKS ARE NOT ACCEPTABLE. SEE SPECIFICATIONS FOR CAST STONE.



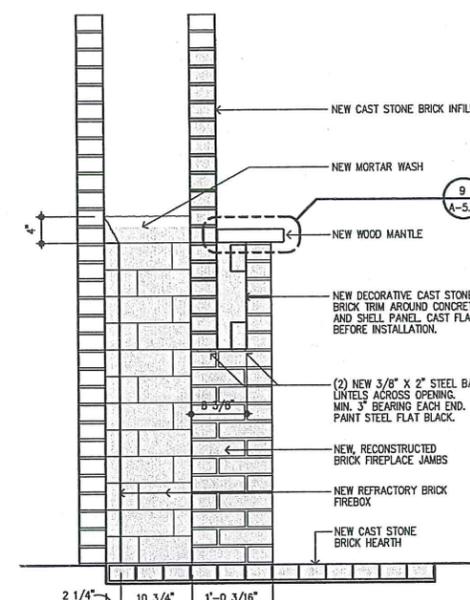
8
A-5.9
DECORATIVE CAST STONE
BRICK SECTION
FULL SCALE



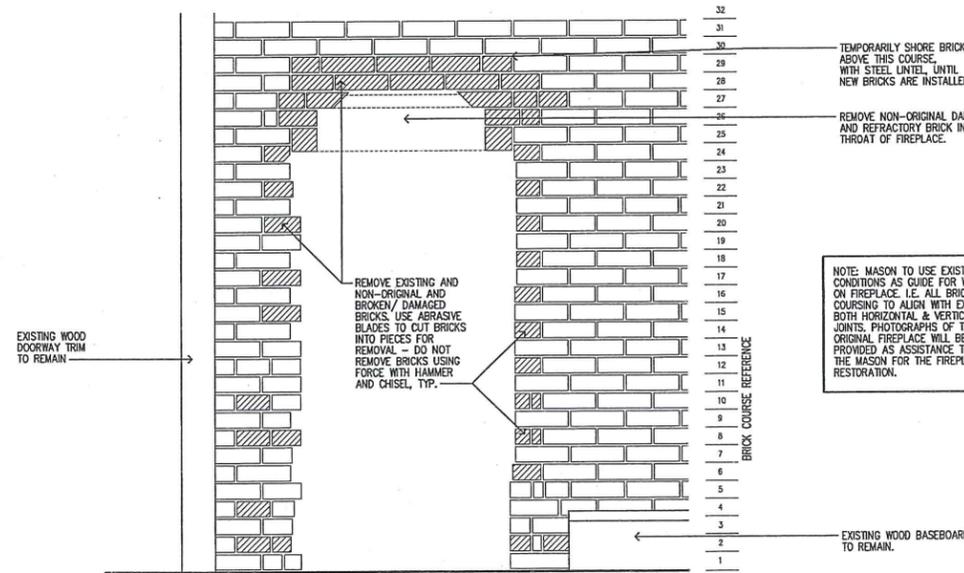
9
A-5.9
WOOD MANTLE SECTION
FULL SCALE



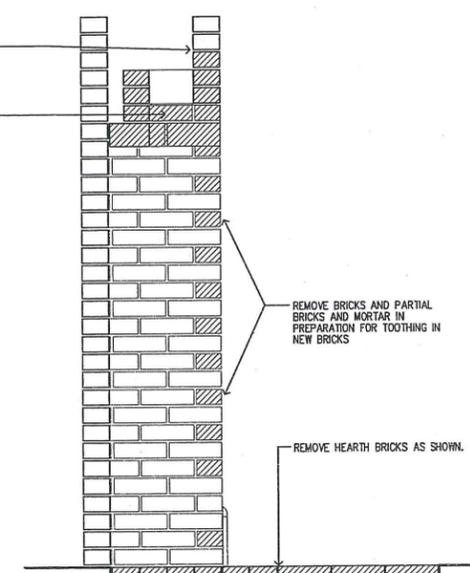
4
A-5.9
RECONSTRUCTION
FIREPLACE ELEVATION
SCALE: 1"=1'-0"



2
A-5.9
RECONSTRUCTION
FIREPLACE SECTION
SCALE: 1"=1'-0"



3
A-5.9
EXISTING/ DEMOLITION
FIREPLACE ELEVATION
SCALE: 1"=1'-0"



1
A-5.9
EXISTING/ DEMOLITION
FIREPLACE SECTION
SCALE: 1"=1'-0"

**MOUND HOUSE
RESTORATION PHASE II
TOWN OF FORT MYERS BEACH, FLORIDA**

PROJECT NO.: 1105
DATE: 09/07/2012
DRAWN BY: PCP
REVISIONS:

SHEET TITLE:
ENLARGED DETAILS
FIREPLACE
HISTORICAL RECONSTRUCTION

SHEET NO.:

A-5.9

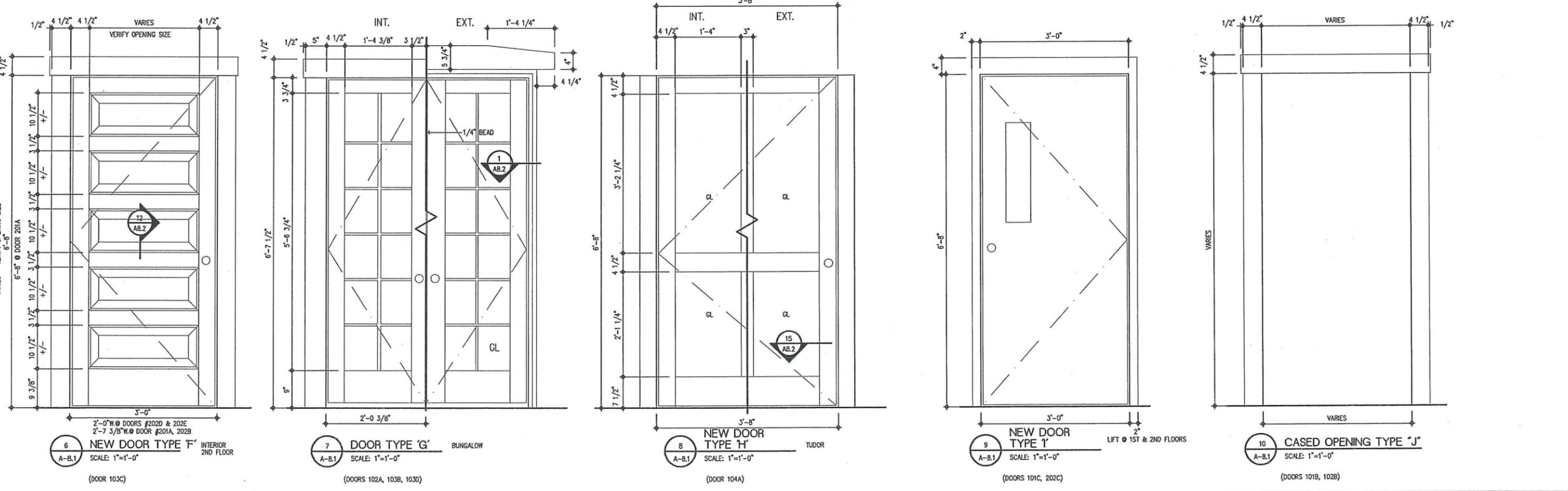
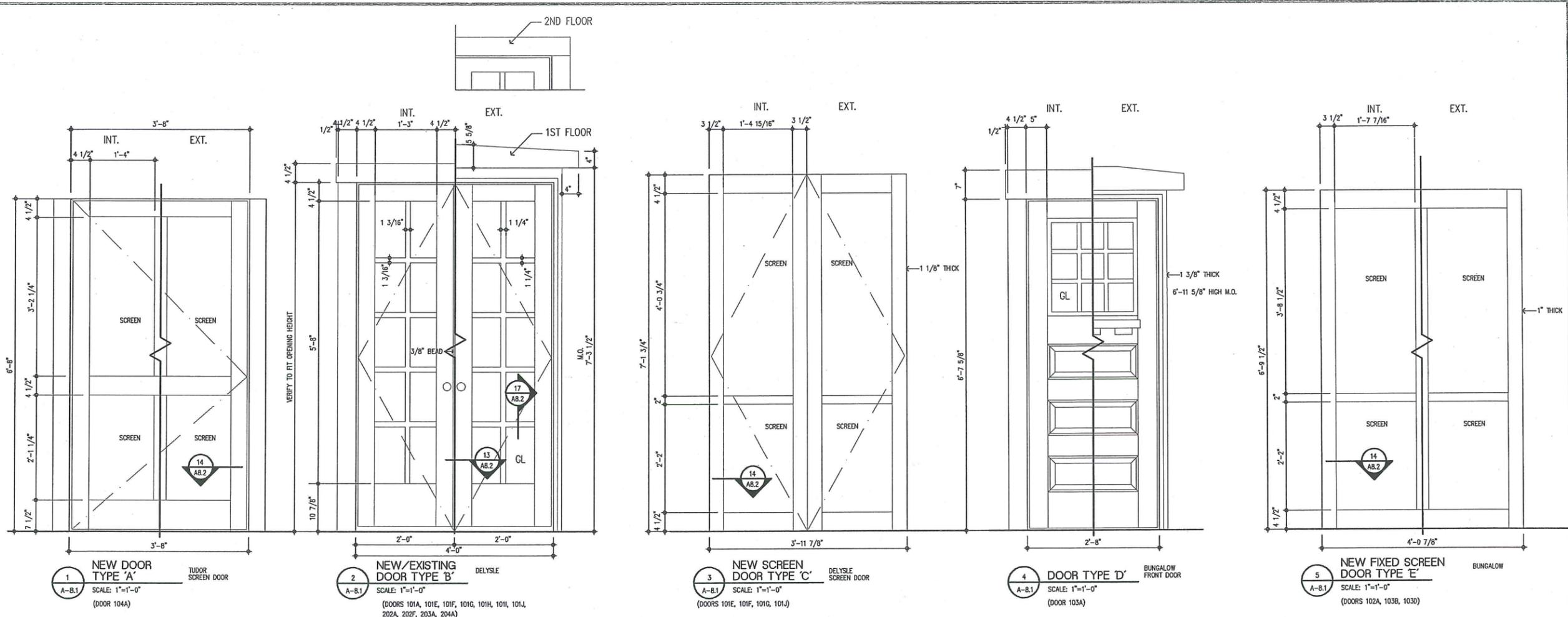
OF SHEETS



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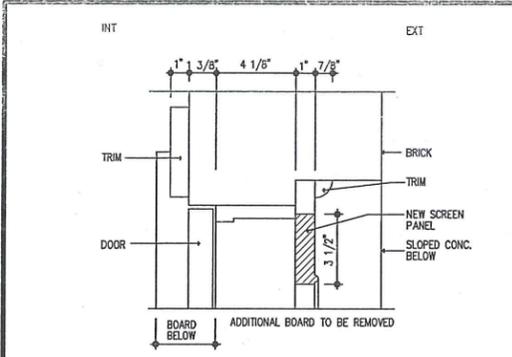
**MOUND HOUSE
RESTORATION PHASE II
TOWN OF FORT MYERS BEACH, FLORIDA**

PROJECT NO.: 1105
DATE: 09/07/2012
DRAWN BY: PCP
REVISIONS:

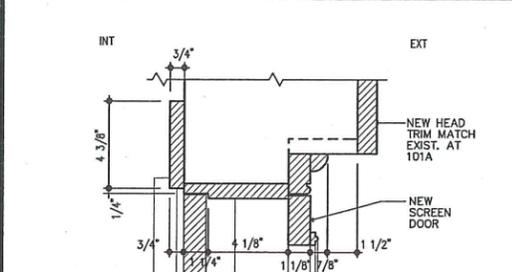
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DOOR ELEVATIONS

SHEET NO.:
A-8.1
OF SHEETS

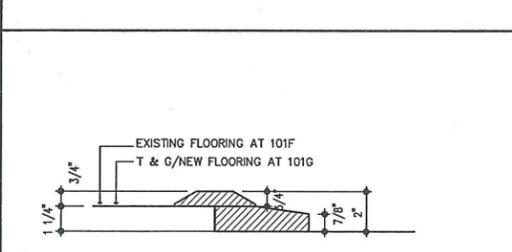
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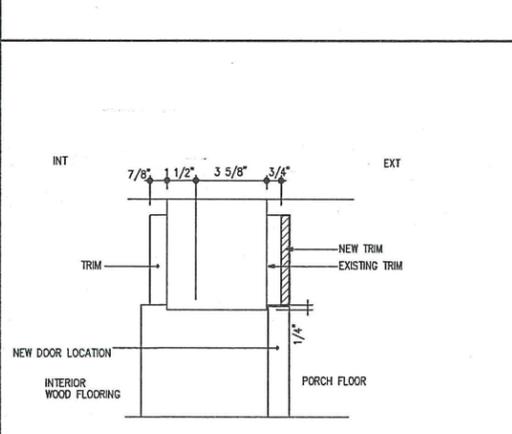
1 DOOR 102A, 103B, 103D
JAM DETAIL AT BUNGALOW
SCALE: 3"=1'-0"



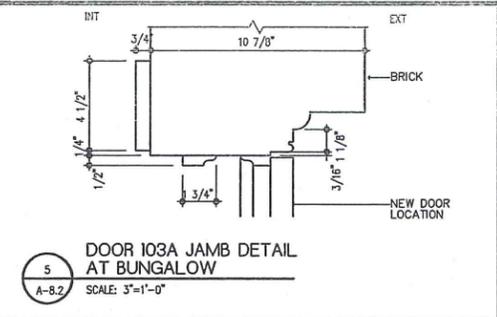
2 DOOR 101E, 101F, 101G
HEAD DETAIL AT DELYSLE
SCALE: 3"=1'-0"



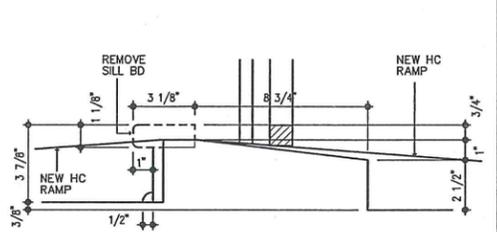
3 DOOR 101F, 101G
SILL DETAIL AT DELYSLE
SCALE: 3"=1'-0"



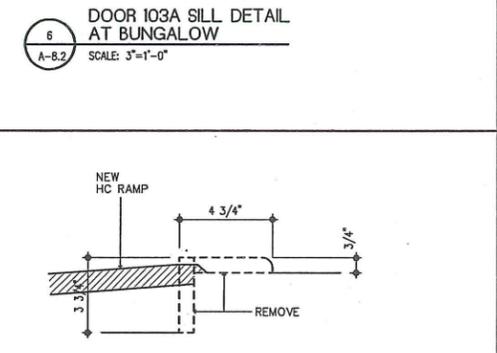
4 DOOR 203A, 202B
2ND FLOOR JAMB DETAIL
SCALE: 3"=1'-0"



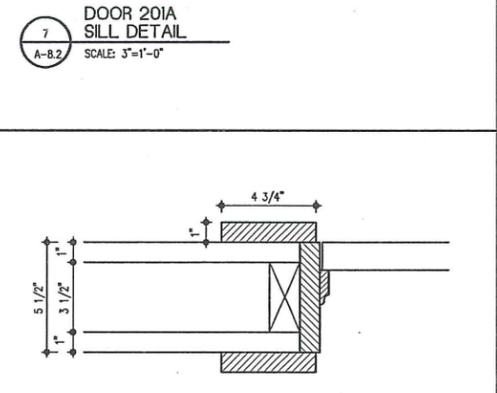
5 DOOR 103A JAMB DETAIL
AT BUNGALOW
SCALE: 3"=1'-0"



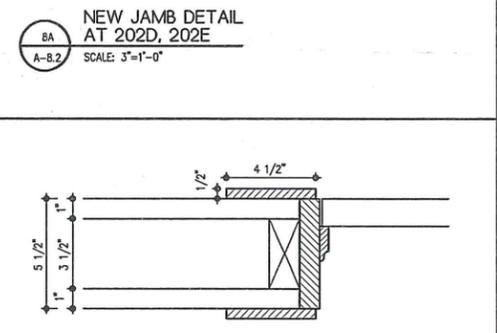
6 DOOR 103A SILL DETAIL
AT BUNGALOW
SCALE: 3"=1'-0"



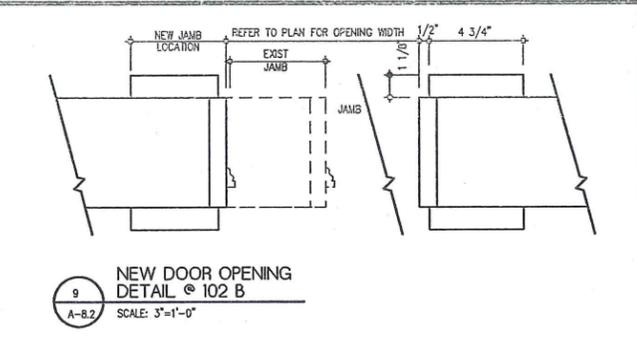
7 DOOR 201A
SILL DETAIL
SCALE: 3"=1'-0"



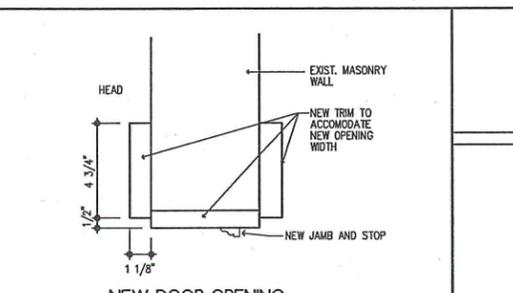
8A NEW JAMB DETAIL
AT 202D, 202E
SCALE: 3"=1'-0"



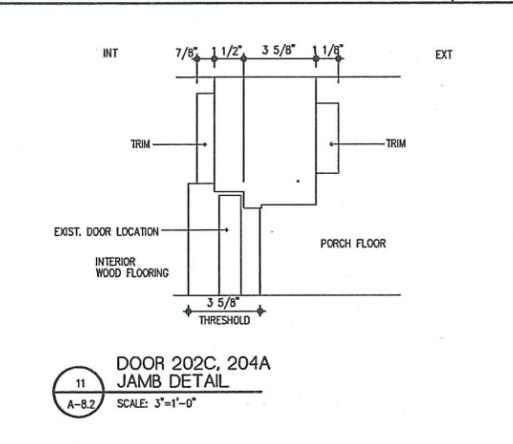
8B NEW JAMB DETAIL
AT 101H, 101I, 202F
SCALE: 3"=1'-0"



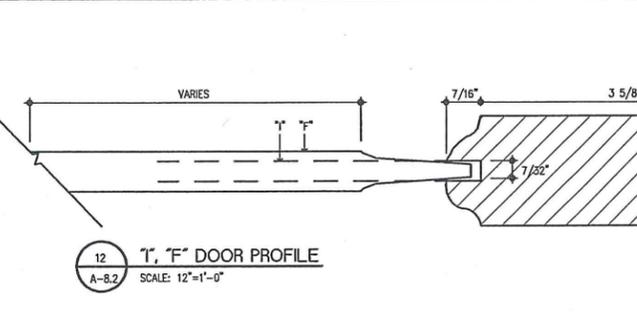
9 NEW DOOR OPENING
DETAIL @ 102 B
SCALE: 3"=1'-0"



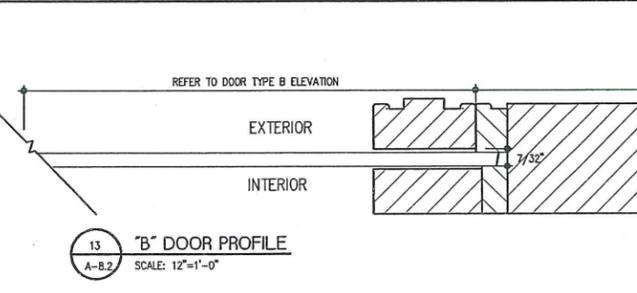
10 NEW DOOR OPENING
JAMB @ 102 B
SCALE: 3"=1'-0"



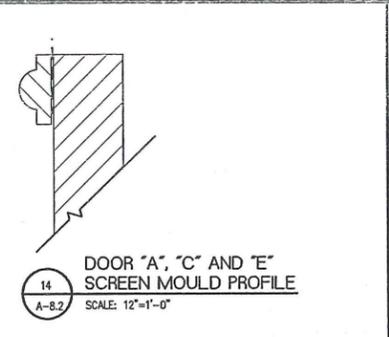
11 DOOR 202C, 204A
JAMB DETAIL
SCALE: 3"=1'-0"



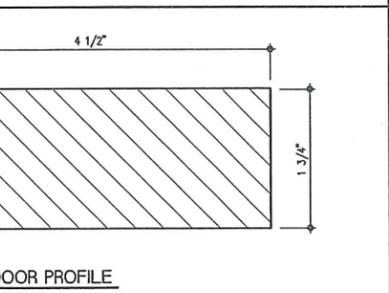
12 "T", "F" DOOR PROFILE
SCALE: 12"=1'-0"



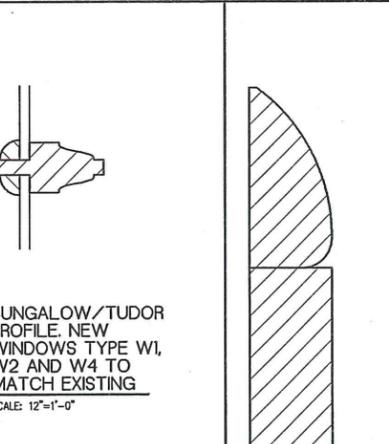
13 "B" DOOR PROFILE
SCALE: 12"=1'-0"



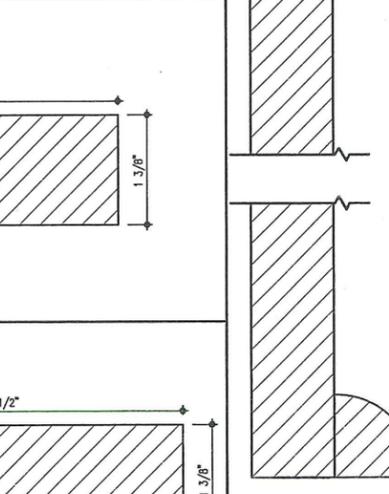
14 DOOR "A", "C" AND "E"
SCREEN MOULD PROFILE
SCALE: 12"=1'-0"



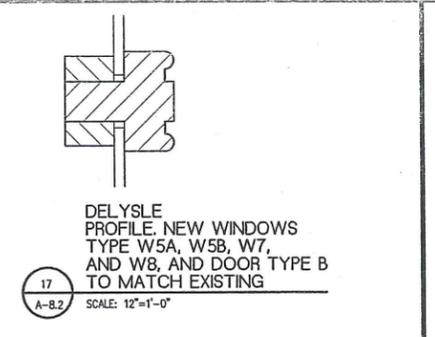
15 1H DOOR PROFILE
SCALE: 12"=1'-0"



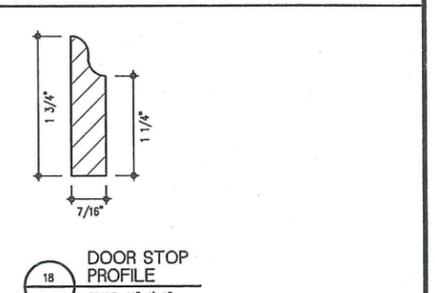
16 BUNGALOW/TUDOR
PROFILE, NEW
WINDOWS TYPE W1,
W2 AND W4 TO
MATCH EXISTING
SCALE: 12"=1'-0"



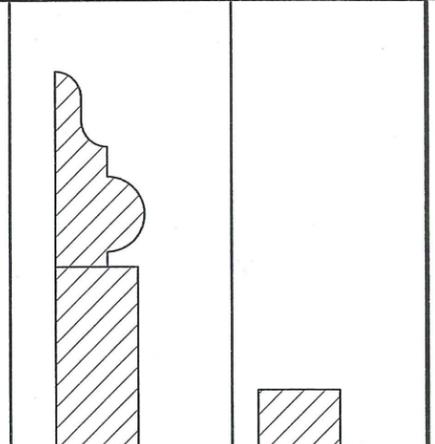
19 BUNGALOW
BASEBOARD
SCALE: 12"=1'-0"



17 DELYSLE PROFILE, NEW WINDOWS
TYPE W5A, W5B, W7,
AND W8, AND DOOR TYPE B
TO MATCH EXISTING
SCALE: 12"=1'-0"



18 DOOR STOP
PROFILE
SCALE: 12"=1'-0"



20 DELYSLE 2ND FL
BASEBOARD
SCALE: 12"=1'-0"

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MOUND HOUSE
RESTORATION PHASE II
TOWN OF FORT MYERS BEACH, FLORIDA

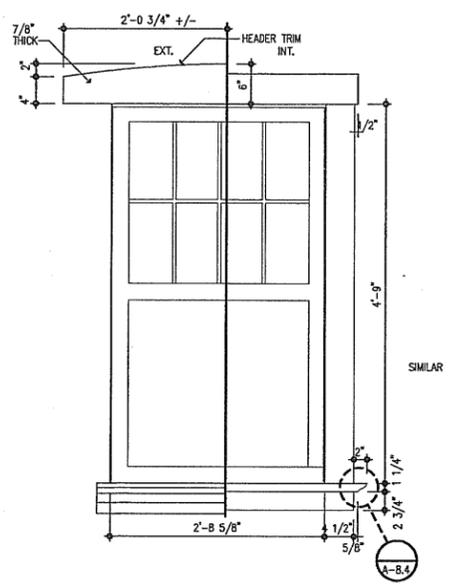
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DATE: 09/07/2012
DRAWN BY: PCP
REVISIONS:
10/04/12 ADDENDUM

SHEET TITLE:
DOOR DETAILS

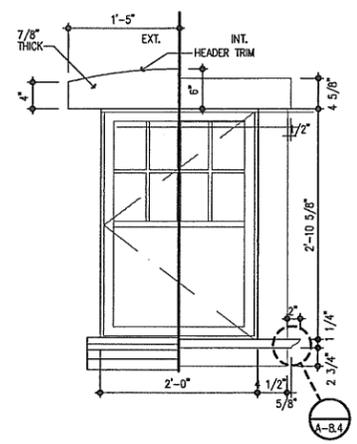
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A-8.2

OF SHEETS

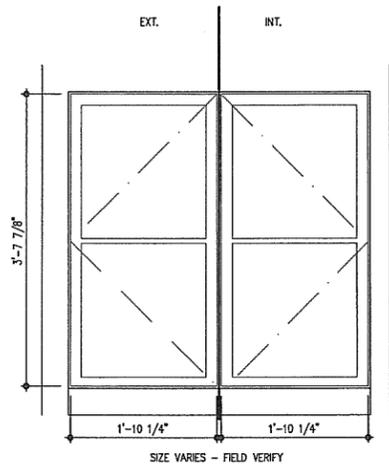
ALL WINDOWS ARE EXISTING UNLESS NOTED OTHERWISE BELOW



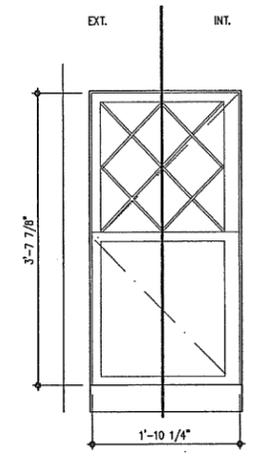
1 WINDOW
A-8.3 SCALE: 1"=1'-0"
1ST FLOOR DOUBLE HUNG (1, 2, 7, 13)



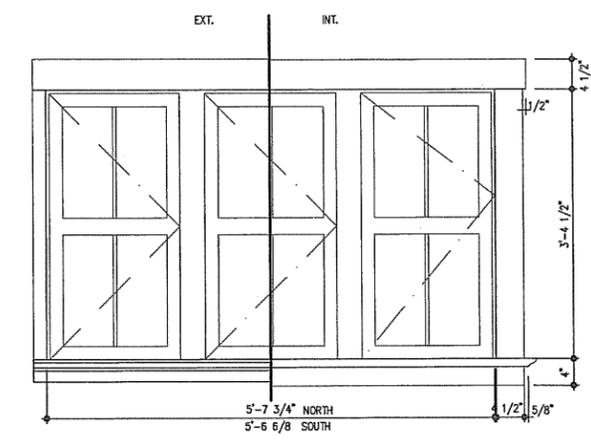
2 WINDOW
A-8.3 SCALE: 1"=1'-0"
1ST FLOOR CASEMENT (3, 12 NEW)



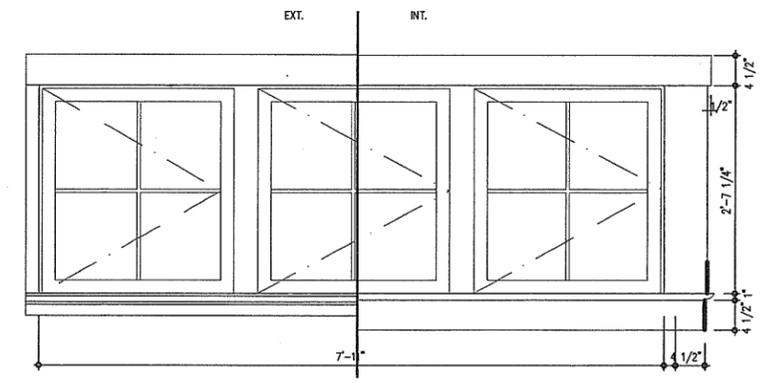
3 WINDOW
A-8.3 SCALE: 1"=1'-0"
1ST FLOOR CASEMENT (4, 5, 6, 8, 9, 10, 11)



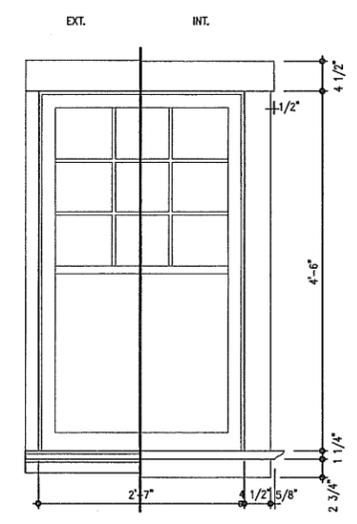
4 WINDOW
A-8.3 SCALE: 1"=1'-0"
DORMER CASEMENT (7 NEW)



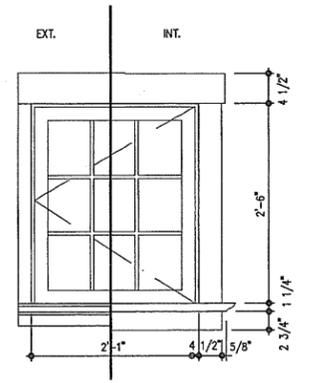
5 WINDOW
A-8.3 SCALE: 1"=1'-0"
2ND FLOOR DOUBLE HUNG (22 NEW, 23 NEW)



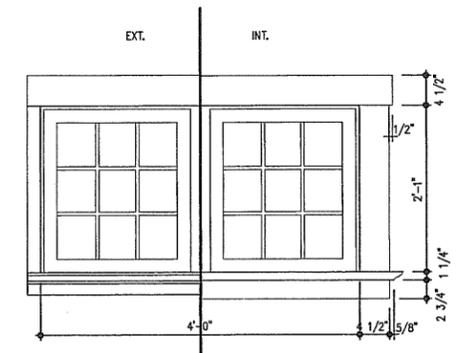
6 WINDOW
A-8.3 SCALE: 1"=1'-0"
2ND FLOOR CASEMENT (21 NEW)



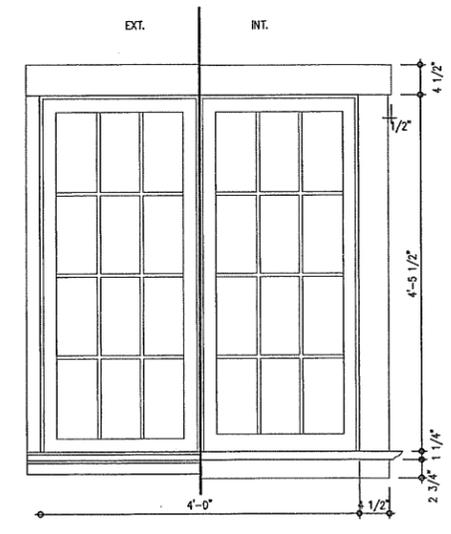
7 WINDOW
A-8.3 SCALE: 1"=1'-0"
2ND FLOOR DOUBLE HUNG (30, 31)



8 WINDOW
A-8.3 SCALE: 1"=1'-0"
2ND FLOOR CASEMENT (24 NEW, 29)



9 WINDOW
A-8.3 SCALE: 1"=1'-0"
2ND FLOOR CASEMENT (25 NEW, 26 NEW, 27 NEW, 28 NEW)



10 WINDOW
A-8.3 SCALE: 1"=1'-0"
2ND FLOOR CASEMENT (32, 33)

RENKER · EICH · PARKS ARCHITECTS
1009 Dr. Martin Luther King Jr. Street, North · St. Petersburg, Florida · 33704-4203 · (727-821-2860)
LIC. NO. 0001447

MOUND HOUSE
RESTORATION PHASE II
TOWN OF FORT MYERS BEACH, FLORIDA

PROJECT NO.: 1105
DATE: 09/07/2012
DRAWN BY: PCP
REVISIONS:

SHEET TITLE:
WINDOW ELEVATIONS

SHEET NO.:
A-8.3
OF SHEETS

H:\2011\1105 Mound House Phase II\Drawings\0649 Windows 1 Inch.dwg 9/11/2012 11:09 AM

RESOLUTION OF THE TOWN COUNCIL OF
THE TOWN OF FORT MYERS BEACH, FLORIDA
RESOLUTION NUMBER 96-17

A RESOLUTION OF THE TOWN OF FORT MYERS BEACH, FLORIDA DESIGNATING 289 CONNECTICUT AVENUE, FORT MYERS BEACH, FLORIDA, AS A HISTORIC RESOURCE DEEMED TO HAVE ARCHITECTURAL SIGNIFICANCE AND DEEMED TO HAVE ARCHAEOLOGICAL SIGNIFICANCE.

WHEREAS, the Town staff has recommended and prepared a Historic Preservation Designation Report on 8LL4; and,

WHEREAS, the subject property is located at and is described more particularly as:

Lot numbered forty-six (46) of CASE'S SUBDIVISION of Government Lots 1, 2 and 3 of Section 29, Township 46 South, of Range 24 East, according to the map or plat thereof on file and recorded in the Office of the Clerk of the Circuit Court of Lee County, Florida, in Plat Book 1, page 58, EXCEPTING THEREFROM the following: Beginning at the Southeasterly corner of Lot 47 of CASE'S SUBDIVISION, thence running Northeasterly along the Easterly boundary of Lot 47 of said subdivision to the Northeasterly corner of said Lot 47 to the point of beginning of the land herein excepted, thence running Northeasterly in a direct line along the Easterly boundary of said Lot 47 projected in a Northerly direction to a point intersecting the South line of Section 20, Township 46 South, Range 24 East, thence running West along the South line of Said Section 20 to a point intersecting the Northeasterly corner of Lot 45 of CASE'S SUBDIVISION aforesaid, thence running Southeasterly along the Easterly boundary of said Lot 45 to the Northwesterly corner of Lot 47 of said subdivision, thence running Southwesterly along the Northerly boundary of said Lot 47 to the point of beginning.

WHEREAS, the Town Council, acting as the historic preservation board of the Town of Fort Myers Beach has accepted the designation report and on July 1, 1996, held a hearing to consider evidence.

NOW, THEREFORE, BE IT RESOLVED BY THE FORT MYERS BEACH TOWN COUNCIL ACTING AS THE HISTORIC PRESERVATION BOARD OF THE TOWN OF FORT MYERS BEACH, THAT 289 CONNECTICUT AVENUE, FORT MYERS BEACH, FLORIDA, (8LL4) IS DESIGNATED AS A HISTORIC RESOURCE DEEMED TO HAVE ARCHITECTURAL SIGNIFICANCE AND DEEMED TO HAVE ARCHAEOLOGICAL SIGNIFICANCE AND FINDS THAT:

o The home portrays the environment in an era of history characterized by one or more distinctive architectural styles;

o The home embodies the characteristics of an architectural style, period or method of construction;

o The quality of the site or the data recoverable from the site is significant enough that it would provide unique or representative information on prehistoric or historical events;

o The site was the locus of discrete types of activities such as habitation, religious, burial, fortification, etc.;

o The site was the location of historic or prehistoric activities during a particular period of time.

o The site is slightly to moderately disturbed, but the remains have considerable potential for providing useful information and maintains a sufficient degree of environmental

integrity to provide useful archaeological data.

The foregoing resolution was adopted by the Fort Myers Beach Town Council upon being put to a vote, the result was as follows:

Anita T. Cereceda	<u>ajc</u>
Ted FitzSimons	<u>ajc</u>
William (Rusty) Isler	<u>ajc</u>
Garr Reynolds	<u>ajc</u>
Ray Murphy	<u>ajc</u>

DULY ADOPTED this 1st day of July, 1996.

ATTEST:

By: Marsha Segal-George
Marsha Segal-George, Town Clerk

TOWN OF FORT MYERS BEACH
By: Anita T. Cereceda
Anita T. Cereceda, Mayor

Approved as to form by:

Richard V.S. Roosa
Richard V.S. Roosa, Town Attorney