



DRIVEWAY APPLICATION
Residential ROW ONLY

Property Owner: STRAP:
Owner email:
Job Address:
Contractor: Applicant/Contact Name:
Contractor Address:
License #: Phone: Email:
Estimated Job Value: Estimated Sq Ft:
Job Description/Scope of Work:

DRIVEWAY- If the work is being performed in conjunction with another project, list the permit number:
Type of Permit:
Single Driveway
Double Driveway
Re-surface. Please indicate material change from to

An electronic set of plans consisting of the following in PDF format must be included with the application

Permit Requirements

- A Survey sufficient enough to show existing conditions within work area
Site Plan (Include total site area, existing & proposed impervious area, grading and drainage changes)

Technical Specification Manual for existing swale within the right of way

Is the swale 7inches or less? INDEX NO: 401.00
Is the swale 7inches and greater? INDEX NO: 401.02 or 401.01 ***
Is there additional site work beyond the ROW? Yes No if yes, a separate Site Application will need to be submitted.

***Please note, increase on impervious surface may require compliance with onsite stormwater drainage regulations.

INSPECTIONS REQUIRED

751- Driveway Final- This inspection involves location/ material and basic plan compliance.

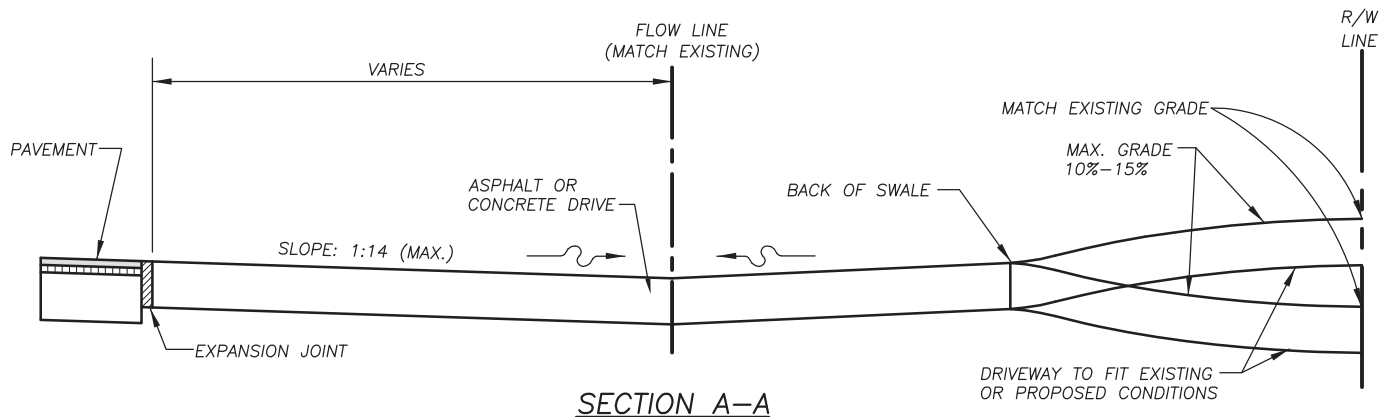
Regulations and information

- 1. It is the contractor's responsibility to contact the Building Department when all final inspections are complete and obtain a Certificate of Occupancy or a Certificate of Completion.
2. New construction of a Single-family home/Duplex will only require a Driveway Application. The site portion (any impervious created beyond the ROW) will be covered by the house site engineered drainage plan.
3. Existing homes that are replacing, altering, and resurfacing their driveways will need to submit both the Driveway Application-Residential ROW ONLY and Site application.

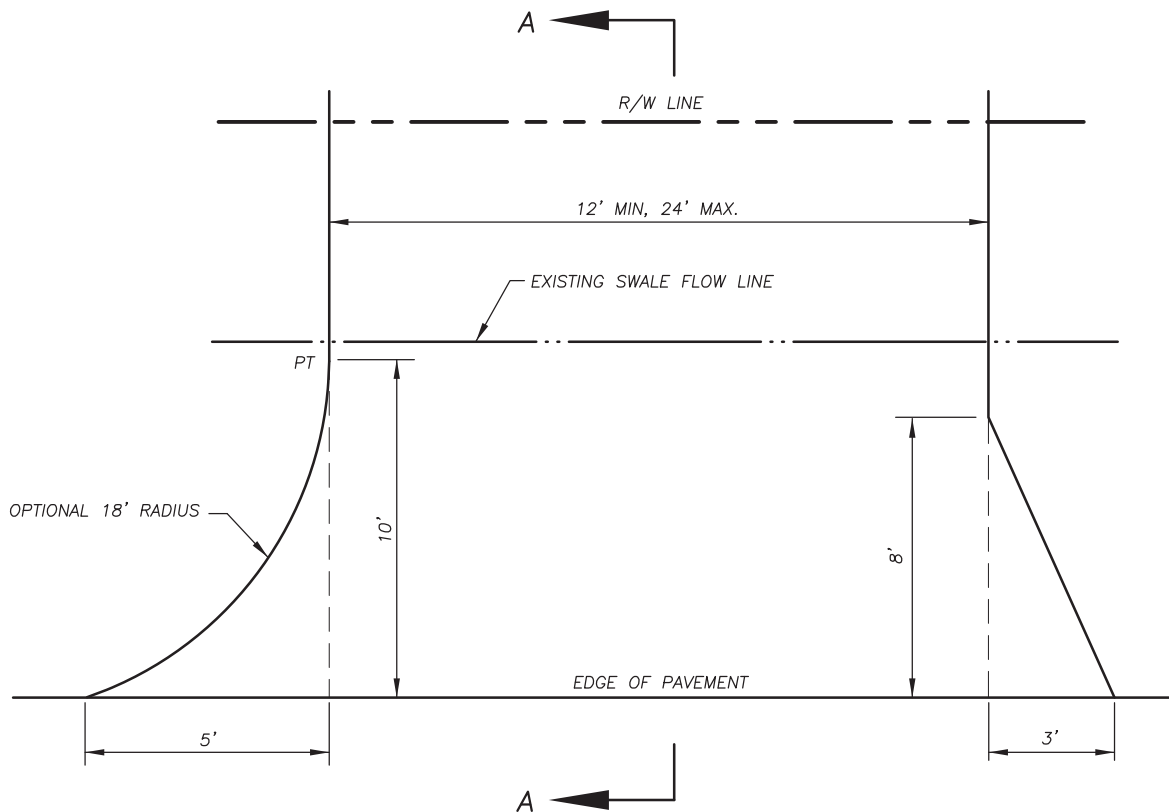


DRIVEWAY APPLICATION Residential ROW ONLY

4. If the driveway is located on Estero Blvd, south of the Old San Carlos bridge, the Right of Way permit will be issued through Lee County DOT. Any site work beyond the Right of Way requires a Site Application permit and will need be submitted to the Town of Fort Myers Beach prior to commencement of any driveway project.
5. If removing protected trees or vegetation, it is required to submit a vegetation permit application.



SECTION A-A

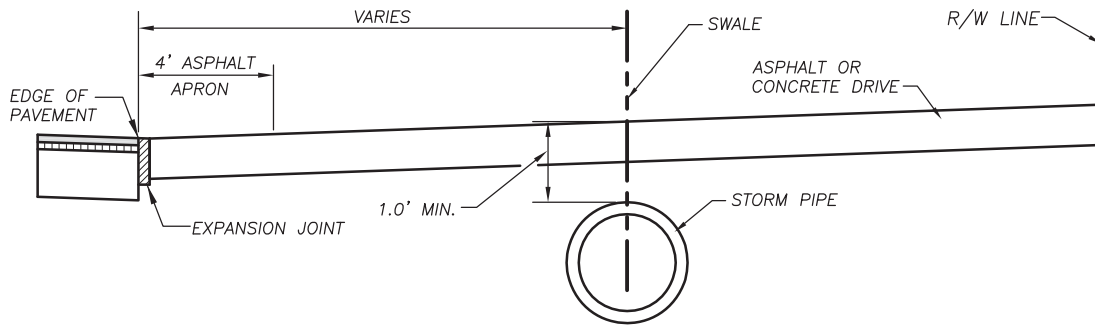


PLAN

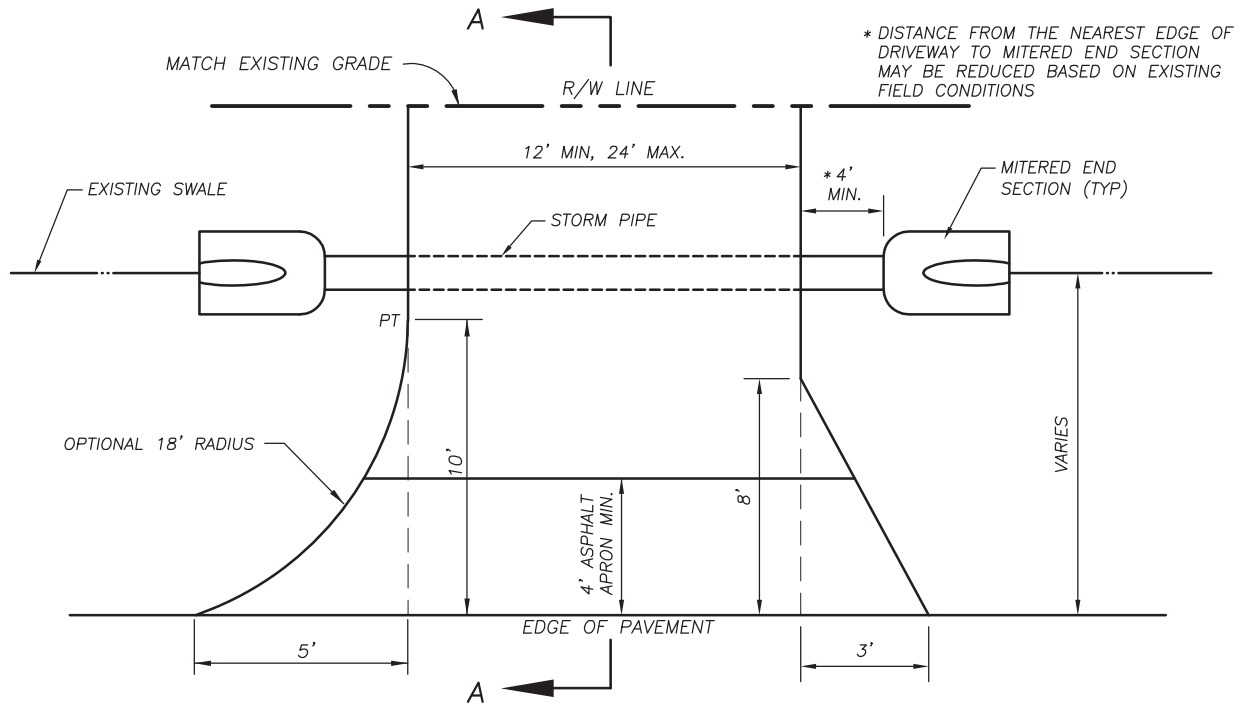
NOTES:

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH TYPICAL SECTION FOR LIGHT TRAFFIC, TYPICAL SECTION FOR CONCRETE DRIVEWAY OR BETTER FROM EDGE OF PAVEMENT TO RIGHT-OF-WAY LINE.
2. DRIVEWAYS ADJACENT TO NON-PAVED ROADS MAY BE CONSTRUCTED USING TYPICAL SECTION FOR LIGHT TRAFFIC.
3. SILT FENCE OR HAY BALES SHALL BE PLACED ON BOTH SIDES OF THE PROPOSED CULVERT OR DRIVEWAY FROM EDGE OF EXISTING PAVEMENT TO THE PROPERTY LINE.
4. ALL DISTURBED AREAS SHALL BE SODDED.
5. EXISTING DRAINAGE FLOWLINE SHALL BE MAINTAINED. PIPING MAY BE REQUIRED.

THE TOWN OF FORT MYERS BEACH PUBLIC WORKS DEPARTMENT 2525 ESTERO BOULEVARD FORT MYERS BEACH, FLORIDA 33931 PHONE: (239) 765-0202 EXT. 1701 FAX: (239) 765-0909	DATE: JUNE 2018	INDEX NO.:
	RESIDENTIAL SWALED DRIVEWAY	401.00



SECTION A-A



* DISTANCE FROM THE NEAREST EDGE OF DRIVEWAY TO MITERED END SECTION MAY BE REDUCED BASED ON EXISTING FIELD CONDITIONS

PLAN

NOTES:

1. DRIVEWAY OPTIONS:

- A. ASPHALT FROM EDGE OF PAVEMENT TO RIGHT-OF-WAY.
- B. 4' MIN. ASPHALT APRON FROM EDGE OF PAVEMENT. CONCRETE FROM ASPHALT APRON TO RIGHT-OF-WAY.
- C. CONCRETE FROM EDGE OF PAVEMENT TO RIGHT-OF-WAY.

DRIVEWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH TYPICAL SECTION FOR ASPHALT DRIVEWAYS AND/OR TYPICAL SECTION FOR CONCRETE DRIVEWAYS WHICHEVER APPLICABLE.

- 2. STORM PIPE SHALL BE RCP OR HDPE WITH A MIN. DIAMETER OF 15" OR ELLIPTICAL EQUIVANT UNLESS A SMALLER SIZE IS APPROVED. THE PIPE INVERTS SHALL MATCH THE EXISTING DRAINAGE FLOWLINE.
- 3. SILT FENCE OR HAY BALES SHALL BE PLACED ON BOTH SIDES OF THE PROPOSED CULVERT OR DRIVEWAY FROM EDGE OF EXISTING PAVEMENT TO THE PROPERTY LINE.
- 4. ALL DISTURBED AREAS SHALL BE SODDED.

THE TOWN OF FORT MYERS BEACH
PUBLIC WORKS DEPARTMENT
2525 ESTERO BOULEVARD
FORT MYERS BEACH, FLORIDA 33931

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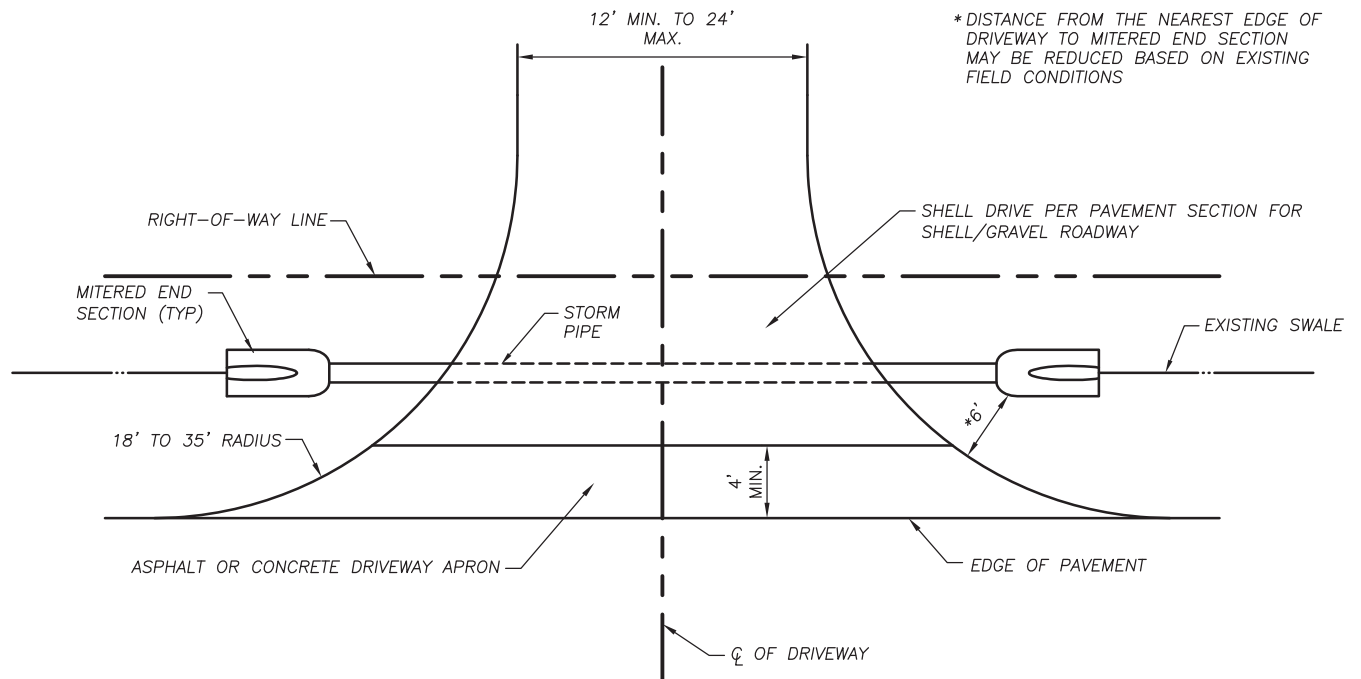
DATE:

JUNE 2018

**RESIDENTIAL CULVERT
 DRIVEWAY**

INDEX NO.:

401.01



NOTES:

1. 4' MIN. APRON SHALL BE CONSTRUCTED IN ACCORDANCE WITH TYPICAL SECTION FOR ASPHALT DRIVEWAYS OR TYPICAL SECTION FOR CONCRETE DRIVEWAY.
2. STORM PIPE SHALL BE RCP OR HDPE WITH A MIN. DIAMETER OF 15" OR ELLIPTICAL EQUIVARIANT UNLESS A SMALLER SIZE IS APPROVED. THE PIPE INVERTS SHALL MATCH THE EXISTING DRAINAGE FLOWLINE.
3. SILT FENCE OR HAY BALES SHALL BE PLACED ON BOTH SIDES OF THE PROPOSED CULVERT OR DRIVEWAY FROM EDGE OF EXISTING PAVEMENT TO THE PROPERTY LINE.
4. ALL DISTURBED AREAS SHALL BE SODDED.

THE TOWN OF FORT MYERS BEACH
PUBLIC WORKS DEPARTMENT
2525 ESTERO BOULEVARD
FORT MYERS BEACH, FLORIDA 33931

PHONE: (239) 765-0202 EXT. 1701

FAX: (239) 765-0909

DATE:
 JUNE 2018

**RESIDENTIAL GRAVEL
 DRIVEWAY**

INDEX NO.:

401.02



This page is required for ALL Building Permit Applications

ACKNOWLEDGEMENT OF TOWN OF FORT MYERS BEACH REGULATIONS BY OWNER OR AUTHORIZED AGENT OF OWNER

NOTICE OF ADDITIONAL RESTRICTIONS: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that maybe found in the public records of this County, and there may be additional permits required from other governmental entities such as the Water Management District, State agencies, or Federal agencies.

WARNING OF WORK IN THE COUNTY RIGHT-OF-WAYS: This permit does not authorize construction or installation of any structure or utility, above or below ground, within any right of way or easement reserved for access, drainage or utility purposes. This restriction specifically prohibits fencing, sprinkler systems, landscaping other than sod, signs, water, sewer, cable and drainage work therein. If such improvements are necessary, a separate permit for that purpose must be obtained from the Building Department.

NOTICE OF CLEARING RESTRICTIONS: Issuance of a Demolition Permit for a structure does not authorize removal of vegetation beyond the footprint of the structure. A Demo Permit is not a clearing permit.

INSPECTIONS This permit is void if the first inspection is not made within six (6) months from the date issued or if no inspection has been made for a period of six (6) months from the most recently passed inspection. The permit is void if the zoning classification is violated. Applicant agrees to comply with the sanitary regulations and understands that the proposed structure may not be used or occupied until an approved certificate of occupancy is issued. Applicant further understands that failure to obtain permit or misrepresentation of the improvements is a misdemeanor and upon conviction, applicant can be punished as provided by the law. Failure to comply with the mechanics lien law can result in the property owner paying twice for improvements

WORK IN THE SPECIAL FLOOD HAZARD AREA: Be advised that Substantial Damage/Substantial Improvement requirements will apply to structures located in the Special Flood Hazard Area with Finished Floor Elevations below the Base Flood Elevation.

CERTIFICATION: Application is hereby made to obtain a permit to do the work and installations as indicated. I, THE OWNER OR AUTHORIZED AGENT OF OWNER, certify that I have not performed any work or installation prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. The permit or application fee may have additional fees imposed for failing to obtain permits prior to commencement of construction. The permit application or approved permit expires if work is not commenced within 180 days from the date of issuance. I, THE OWNER OR AUTHORIZED AGENT OF OWNER understand that the structure cannot be used or occupied until a certificate of occupancy is issued. By signing this permit application, I, THE OWNER OR AUTHORIZED AGENT OF OWNER, agree that I have been retained by the property owner to provide contracting services for the trade for which I am listed. Furthermore, it is my responsibility to notify the Building Plan Review and Inspection Division should I no longer be THE OWNER OR AUTHORIZED AGENT OF OWNER responsible for providing said contracting services. I, THE OWNER OR AUTHORIZED AGENT OF OWNER, agree that I understand the review and issuing of this permit does not exempt me from complying with all State and local County Codes and Ordinances.

NOTICE OF COMMENCEMENT INFORMATION Per Florida Statutes 713.135 a Notice of Commencement (NOC) is required for construction of improvements totaling more than \$2,500, with certain exceptions. For A/C Repairs or Replacements a notice of commencement is required for improvements more than or equal to \$7,500. The applicant shall file with the issuing authority prior to the first inspection either a certified copy of the recorded NOC or a notarized statement that the NOC has been filed for recording, along with a copy thereof. In order to comply with the state requirement, permits will be placed in inspection hold until proof of the NOC is filed with the building permitting and inspection department. The issuing authority shall not perform or approve subsequent inspections until the applicant files by mail, facsimile, hand delivery, email or any other means such as certified copy with the issuing authority.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Job Street Address: _____

Signature of Property Owner

Typed or printed name of Property Owner

STATE OF _____ COUNTY OF _____

The foregoing instrument was certified and subscribed before me by means of _____ physical presence
OR _____ online notarization, this _____ day of _____, 20_____, by _____,
_____ who is personally known to me OR _____ who has produced _____ as identification.

Notary Public Signature

(SEAL)

If An Owner Agent is Being Named, Please complete below

I, _____ (Property Owner), hereby certify that
_____ is my authorized AUTHORIZED AGENT/representative of the property
described herein. All answers to the questions in this registration and any supplementary information attached
to and made part of this registration is honest and true.



This page is required for ALL Building Permit Applications

ACKNOWLEDGEMENT OF TOWN OF FORT MYERS BEACH REGULATIONS BY THE QUALIFIER

NOTICE OF ADDITIONAL RESTRICTIONS: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that maybe found in the public records of this County, and there may be additional permits required from other governmental entities such as the Water Management District, State agencies, or Federal agencies.

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Job Street Address: _____

I, _____ (Qualifier), hereby certify that all answers to the questions in this registration and any supplementary information attached to and made part of this registration is honest and true.

Typed or printed name of Qualifier

Signature of Qualifier

STATE OF _____ COUNTY OF _____

The foregoing instrument was certified and subscribed before me by means of _____ physical presence OR _____ online notarization, this _____ day of _____, 20_____, by _____, _____ who is personally known to me OR _____ who has produced _____ as identification.

Notary Public Signature

(SEAL)