



A PROPOSED FMB/TPI JOINT EFFORT TO RESTORE AND TO REINVIGORATE  
THE DOWNTOWN BEACH AREA



**OWNER**  
TPI HOSPITALITY  
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**ARCHITECT**  
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**PLANNING, CIVIL, SURVEY &  
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Sheet Index	
Sheet Number	Sheet Name
X-G01	COVER SHEET
X-101-FLU	FUTURE LAND USE AND CPD BOUNDARY
X-102-EX	EXISTING CONDITIONS EXHIBIT
X-103-BNDY	BOUNDARY SURVEY
X-104-DA	DEVELOPABLE AREA EXHIBIT
X-105-MCP.00	MASTER CONCEPT PLAN FIRST FLOOR
X-106-MCP.01	MASTER CONCEPT PLAN SECOND FLOOR
X-107-MCP.02	MASTER CONCEPT PLAN THIRD FLOOR
X-108-MCP.03	MASTER CONCEPT PLAN FOURTH FLOOR
X-109-MCP.04	MASTER CONCEPT PLAN DEVIATIONS AND NOTES
X-110-MCP.05	MASTER CONCEPT PLAN PROPERTY DEVELOPMENT REGULATIONS
X-111-FAR.00	FLOOR AREA RATIO - FIRST FLOOR (GRADE)
X-112-FAR.01	FLOOR AREA RATIO - 2ND FLOOR
X-113-FAR.02	FLOOR AREA RATIO - 3RD FLOOR
X-114-FAR.03	FLOOR AREA RATIO - 4TH FLOOR & ROOF

Sheet Index	
Sheet Number	Sheet Name
XA-115	ROOF PLAN
XA-201	EXTERIOR ELEVATIONS
XA-202	EXTERIOR ELEVATIONS
XA-203	EXTERIOR ELEVATIONS
XA-204	EXTERIOR ELEVATIONS
XA-301	BUILDING SECTIONS
X-501-PARK	PARKING LOCATIONS & CALCULATIONS
X-502-RW.00	RIGHT OF WAY & SIDEWALK - BUFFER PLAN
X-503-RW.01	RIGHT OF WAY & SIDEWALK - BUFFER PLAN
X-504-RW.02	RIGHT OF WAY & SIDEWALK - BUFFER PLAN
X-505-SIGN	SIGN LOCATIONS
X-506-COP.01	CONSUMPTION ON PREMISES DIAGRAMS
X-507-COP.02	CONSUMPTION ON PREMISES DIAGRAMS PEDESTRIAN CIRCULATION
X-512-BV	BEACH VENDER DIAGRAM & VISIBILITY TRIANGLES

MASTER CONCEPT PLAN & EXHIBITS





















# MASTER CONCEPT PLAN - FAR SQUARE FOOTAGE

SQUARE FOOTAGE PER USE						
NORTH OF ESTERO (BAYSIDE)	USE	1ST FLOOR (GRADE)	SECOND FLOOR	3RD FLOOR	4TH FLOOR / ROOF	TOTAL
	PARKING	102,318 S.F.	0 S.F.	0 S.F.	0 S.F.	102,318 S.F.
	GUEST UNIT	0 S.F.	27,604 S.F.	34,467 S.F.	34,467 S.F.	96,538 S.F.
	GUEST UNIT ACCESSORY	1,847 S.F.	32,338 S.F.	23,980 S.F.	19,352 S.F.	77,517 S.F.
	ANCILLARY RETAIL	2,301 S.F.	0 S.F.	0 S.F.	0 S.F.	2,301 S.F.
<b>PEDESTRIAN OVERPASS</b>						
	PEDESTRIAN ACCESS	662 S.F.	2,049 S.F.	0 S.F.	0 S.F.	2,711 S.F.
<b>SOUTH OF ESTERO (BEACHSIDE)</b>						
	RESTAURANT	7,272 S.F.	8,757 S.F.	0 S.F.	0 S.F.	16,029 S.F.
	INDOOR STORAGE	2,020 S.F.	0 S.F.	0 S.F.	0 S.F.	2,020 S.F.
	OUTDOOR REC. RESTROOMS	2,534 S.F.	0 S.F.	0 S.F.	0 S.F.	2,534 S.F.
	RESTAURANT - PRIVATE REST.	2,051 S.F.	1,774 S.F.	0 S.F.	0 S.F.	3,825 S.F.
	ADMIN OFFICES	0 S.F.	0 S.F.	1,818 S.F.	0 S.F.	1,818 S.F.
	GUEST UNIT	0 S.F.	0 S.F.	5,392 S.F.	6,052 S.F.	11,444 S.F.
	GUEST UNIT ACCESSORY	324 S.F.	324 S.F.	2,899 S.F.	1,120 S.F.	4,667 S.F.
<b>TOTALS</b>		<b>121,329 S.F.</b>	<b>72,846 S.F.</b>	<b>68,556 S.F.</b>	<b>60,991 S.F.</b>	<b>324,015 S.F.</b>

PROJECT:  
**A PROPOSED FMB/TPI JOINT EFFORT TO RESTORE AND TO REINVIGORATE THE DOWNTOWN BEACH AREA**

LOCATION:  
**FORT MYERS BEACH FLORIDA**

CLIENT:  
  
**TPI HOSPITALITY**  
 100% Employee Owned

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MCP FAR BREAKDOWN - FIRST FLOOR (GRADE)  
 1" = 40'-0"

REVISIONS	DATE

PROJECT MANAGER: JDH  
 DRAWING BY: ADO  
 JURISDICTION: TOWN OF FORT MYERS BEACH  
 DATE: 11-20-2017

SHEET TITLE:  
**FLOOR AREA RATIO - FIRST FLOOR (GRADE)**

SHEET NUMBER: X-111-FAR.00  
 JOB/FILE NUMBER: 30479





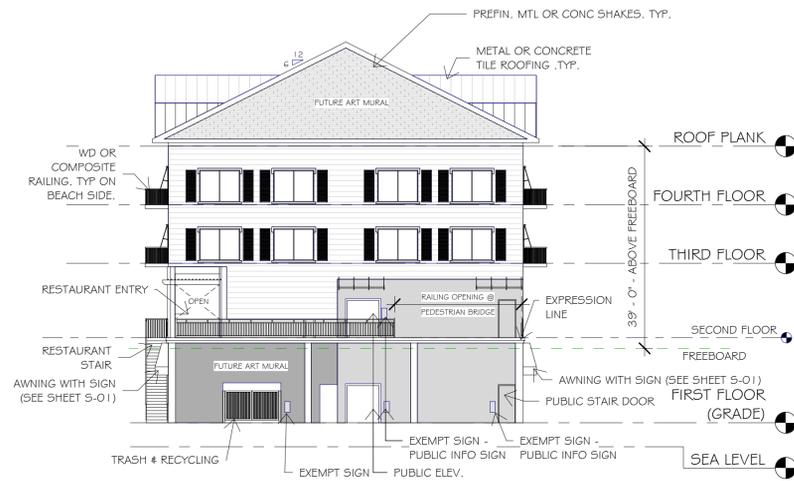






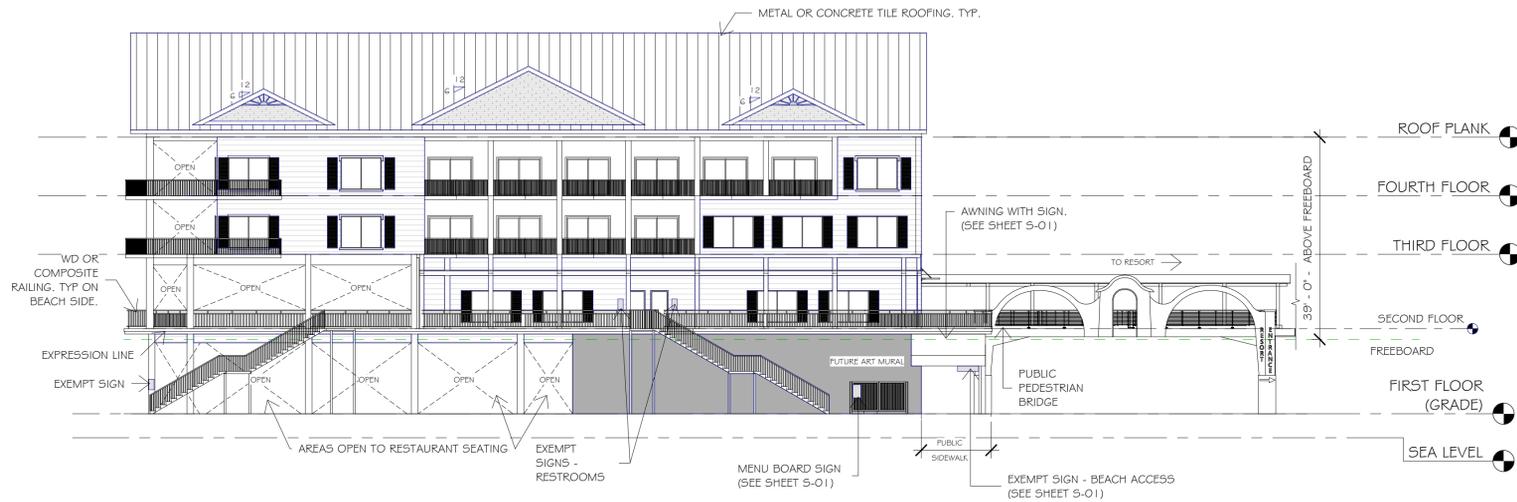


RESTAURANT



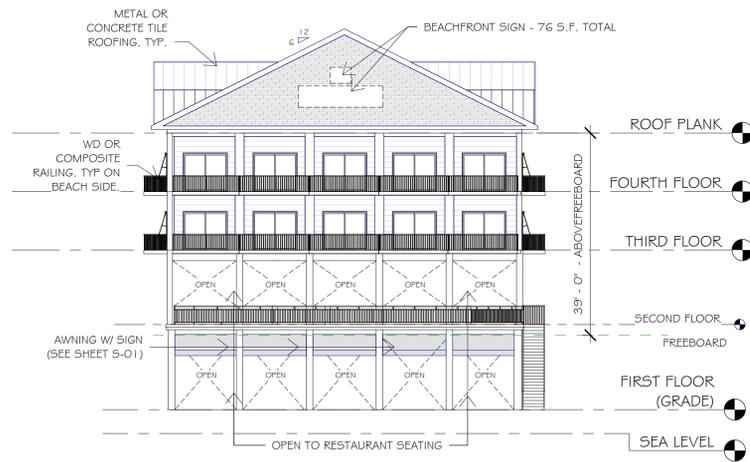
5 BEACHSIDE RESTAURANT - NORTH ELEVATION  
1/16" = 1'-0"

451 / 2450 S.F. = 18% WINDOWS @ UPPER FLOORS



6 BEACHSIDE RESTAURANT - EAST ELEVATION  
1/16" = 1'-0"

1360 / 5080 S.F. = 26% WINDOWS @ UPPER FLOORS



7 BEACHSIDE RESTAURANT - SOUTH ELEVATION  
1/16" = 1'-0"

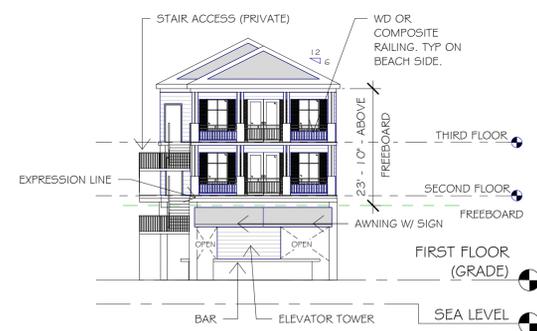
1235 / 2450 S.F. = 50% WINDOWS @ UPPER FLOORS



8 BEACHSIDE RESTAURANT - WEST ELEVATION  
1/16" = 1'-0"

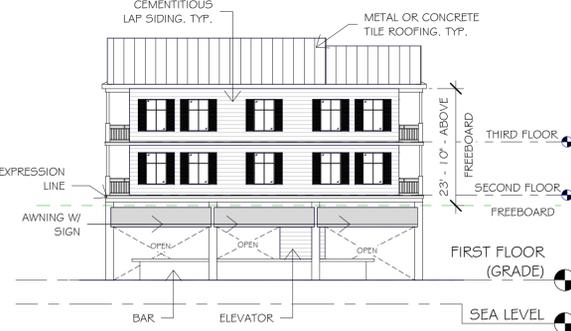
1580 / 5080 S.F. = 31% WINDOWS @ UPPER FLOORS

POOL VENUE



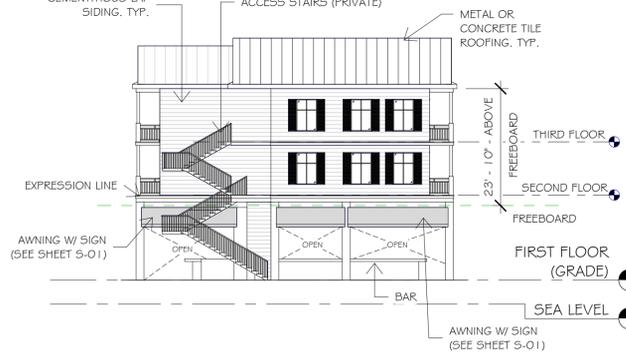
9 POOL BAR - NORTH ELEVATION  
1/16" = 1'-0"

139 / 571 S.F. = 24% WINDOWS @ UPPER FLOORS



10 POOL BAR - WEST ELEVATION  
1/16" = 1'-0"

208 / 1018 S.F. = 20% WINDOWS @ UPPER FLOORS



11 POOL BAR - EAST ELEVATION  
1/16" = 1'-0"

225 / 690 S.F. = 32% WINDOWS @ UPPER FLOORS



12 POOL BAR - SOUTH ELEVATION  
1/16" = 1'-0"

125 / 1018 S.F. = 12% WINDOWS @ UPPER FLOORS

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REVISIONS DATE

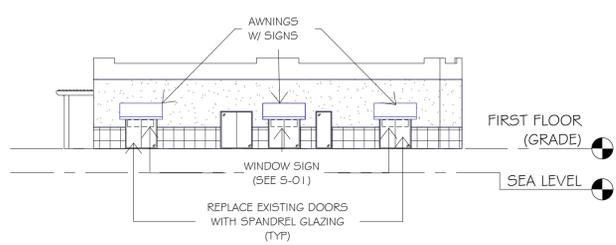
PROJECT MANAGER: JDH  
DRAWING BY: ADO  
JURISDICTION: TOWN OF FORT MYERS BEACH  
DATE: 11-20-2017

SHEET TITLE:  
**EXTERIOR  
ELEVATIONS**

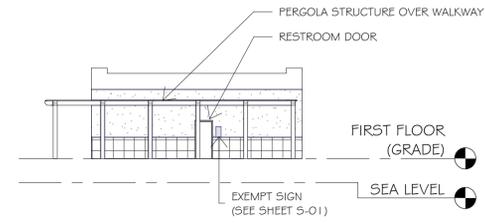
SHEET NUMBER: X-A203

JOB/FILE NUMBER: 30479

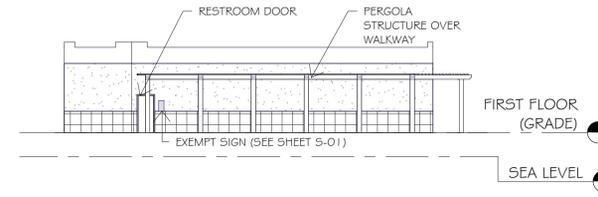
EXISTING BUILDINGS RENOVATED UNDER THE 50% RULE



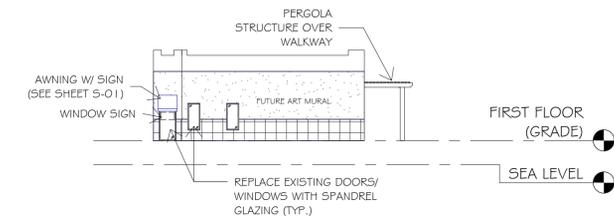
① POOL RESTROOMS - NORTH ELEVATION  
1/16" = 1'-0" \* EXISTING BUILDING



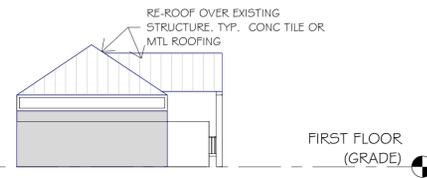
② POOL RESTROOMS - EAST ELEVATION  
1/16" = 1'-0" \* EXISTING BUILDING



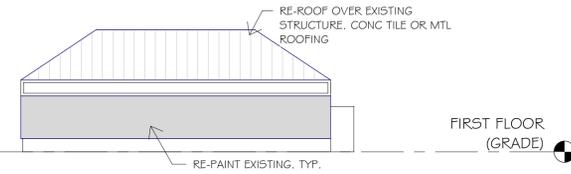
③ POOL RESTROOMS - SOUTH ELEVATION  
1/16" = 1'-0" \* EXISTING BUILDING



④ POOL RESTROOMS - WEST ELEVATION  
1/16" = 1'-0" \* EXISTING BUILDING



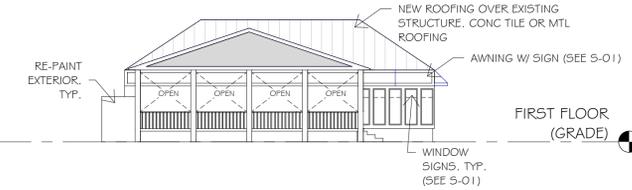
⑤ RESORT RETAIL BLDG - NORTH ELEVATION  
1/16" = 1'-0" \* EXISTING BUILDING



⑥ RESORT RETAIL BLDG - EAST ELEVATION  
1/16" = 1'-0" \* EXISTING BUILDING



⑦ RESORT RETAIL BLDG - SOUTH ELEVATION  
1/16" = 1'-0" \* EXISTING BUILDING



⑧ RESORT RETAIL BLDG - WEST ELEVATION  
1/16" = 1'-0" \* EXISTING BUILDING

EXTERIOR MATERIALS LEGEND

-  STUCCO COLOR #1
-  STUCCO COLOR #2
-  STUCCO COLOR #3
-  STUCCO COLOR #4
-  STUCCO COLOR #5
-  STUCCO COLOR #6
-  STUCCO COLOR #7
-  STUCCO COLOR #8
-  TYP. ROOFING

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REVISIONS DATE

PROJECT MANAGER: JDH

DRAWING BY: ADO

JURISDICTION: TOWN OF FORT MYERS BEACH

DATE: 11-20-2017

SHEET TITLE:

EXTERIOR  
ELEVATIONS

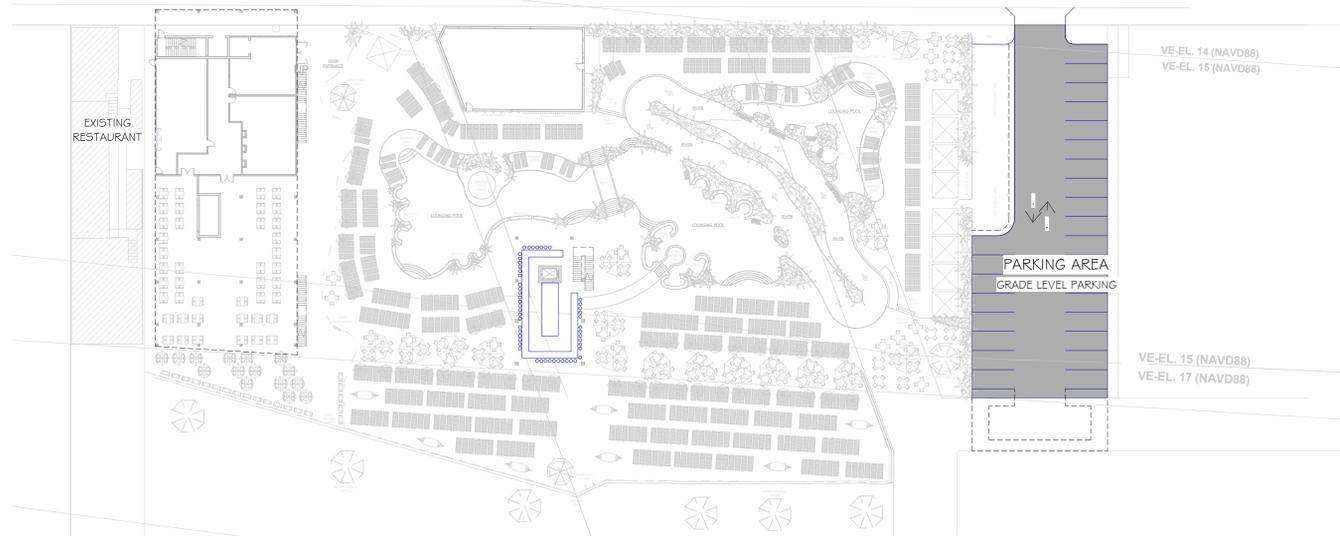
SHEET NUMBER: X-A204

JOB/FILE NUMBER: 30479





① PARKING PLAN - NORTH OF ESTERO  
1" = 40'-0"



② PARKING PLAN - SOUTH OF ESTERO  
1" = 40'-0"

**DAVID PLUMMER & ASSOCIATES, INC.**

TRANSPORTATION • CIVIL • STRUCTURAL • ENVIRONMENTAL

**Memorandum**

**To:** Tina Ekblad  
**From:** Deven Long  
**Date:** November 17, 2017  
**RE:** Independent Resort Rezoning Traffic Impact Statement - #16537  
 Parking Stall Requirements for Aquatics Venue  
**cc:** Candace Woodworth, Stephen Leung

The aquatics venue is an adult-oriented outdoor lounge area featuring: a bar, wading pools, concession type food outlets, lounge seating, and restroom facilities. This venue will be completely fenced in with two entry points open to the public and resort guests.

There are no codes established by Lee County or the Town of Fort Myers Beach that describe the number of parking stalls required for the Aquatics Venue or similar recreational land uses. To address parking requirements for the Aquatics Venue, a method of calculating parking stalls was established based on the anticipated occupancy of the facility, Attachment A.

The maximum occupancy of the facility is anticipated to be 950 occupants with 225 of those occupants being public guests. Hotel guests are provided with parking per Town code and require no additional parking for the Aquatics Venue.

In the trip generation estimates for the proposed development, a non-auto trip reduction of 55% was applied to account for guests who are already parked on the island, taxied, or walked. This rate was assumed for the parking requirement calculations, and therefore, 55% (124 occupants) of the public occupants do not require parking. The remaining 101 public occupants traveling by vehicle require parking and it was assumed that there will be 2 occupants per vehicle.

At maximum occupancy of the aquatics venue, 51 vehicles associated with public guests are anticipated and will be required as part of the overall parking stall requirements (before downtown reduction) for the proposed development.

This method of calculating required parking stalls for the aquatics venue was accepted by Town Staff during the meeting held on September 29, 2017.

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TPI-FMB Parking Calculations	
<b>PARKING STALL REQUIREMENTS</b>	
PARKING STALL REQUIREMENTS PER TOWN CODE FOR HOTEL USE: 1.2 STALLS PER GUEST UNIT UNDER 450 S.F. 1.5 STALLS PER UNIT FOR GUEST UNITS OVER 450 S.F.	
PARKING STALL REQUIREMENTS PER TOWN CODE FOR RESTAURANT USE: 8 STALLS PER 1,000 S.F.	
PARKING STALL REQUIREMENTS FOR AQUATICS VENUE USE (NOT IN CODE): 1 STALL PER PUBLIC OCCUPANT VEHICLE TRIP. EXCLUDES HOTEL GUEST OCCUPANTS.	
DOWNTOWN DISTRICT PARKING REDUCTION: 67% OF TOTAL REQUIRED	
<b>HOTEL</b>	
278 UNITS UNDER 450 S.F. 12 UNITS OVER 450 S.F. 290 UNITS TOTAL	
278 UNITS * 1.2 STALLS PER UNIT =	333.60 STALLS REQUIRED
12 UNITS * 1.5 STALLS PER UNIT =	18.00 STALLS REQUIRED
	<b>351.60 TOTAL STALLS REQUIRED</b>
<b>BEACHSIDE RESTAURANT</b>	
GRADE LEVEL =	8,550 S.F.
FIRST FLOOR =	8,700 S.F.
TOTAL	17,250 S.F.
(17,250 / 1,000) * 8 =	138 STALLS REQUIRED
*INCLUDES PUBLIC SEATING AREAS, KITCHEN, SUPPORT SPACES, ETC.	
<b>AQUATICS VENUE</b>	
MAX PUBLIC GUEST ENTRY =	225 OCCUPANTS
RESERVED ADMISSIONS FOR HOTEL GUEST =	725 OCCUPANTS
TOTAL MAX CAPACITY =	950 OCCUPANTS
PUBLIC OCCUPANT ARRIVAL BREAKDOWN: 45 % NEED PARKING SPACE (ON ISLAND CAR OR OFF ISLAND CAR) 55 % PEDESTRIAN (OCCUPANT ALREADY PARKED ON ISLAND, TAXIED, OR WALKED)	
45% MAX PUBLIC ENTRY / 2 PERSONS PER VEHICLE =	50.625 STALLS REQUIRED
NOTES: 1) RATIOS BASED ON NON-AUTO TRIP REDUCTION RATE USED IN TRIP GENERATION ESTIMATES. ASSUMES 2 PERSON TRIPS PER VEHICLE. 2) HOTEL GUESTS REQUIRE NO ADDITIONAL PARKING FOR AQUATICS VENUE.	
<b>TOTAL PARKING STALLS REQUIRED</b>	
BUILDING USES:	
HOTEL	351.60 STALLS
BEACHSIDE RESTAURANT	138 STALLS
AQUATICS VENUE	50.625 STALLS
TOTAL	540.23 STALLS
DOWNTOWN REDUCTION (67%)	361.95 TOTAL STALLS REQUIRED
<b>DEVELOPMENT MEETS PARKING STALL REQUIREMENTS FOR ALL USES</b>	
* RESORT EMPLOYEES PLAN TO USE SUMMERLIN SQUARE PARK AND RIDE LOCATED OFF ISLAND * PROPOSED RELOCATED CANAL STREET PARKING IS NOT INCLUDED IN PARKING CALCULATIONS	

Aquatics venue - Parking Methods researched.  
 Method 1 - (Selected Method) - assumes 1 stall per public occupant vehicle trip which is based on the maximum public guest occupancy. It was assumed that 55% of these trips are non-auto trips (same value used in trip generation estimates) and each vehicle trip accounts for two public guests. This method is not based on any code and does not take into account the parking turnover rate.

Method 2 - is based on minimum parking requirements established by the City of Coral Gables and Miami-Dade County for outdoor recreation/entertainment which is 1 stall per 4 visitors during peak periods.

Method 3 - is based on minimum parking requirements established by the City of Fort Myers for a private club which is 1 stall per 300 square feet. Please note that the total area used in the draft calculations will cause the required parking to exceed the provided parking if the code is used without any further adjustments. In the draft calculations, we applied a 72.5% reduction based on hotel guest occupancy to account for those who already have parking provided. Also, it may be possible to further reduce (or increase) the required parking for the aquatics venue depending on how the total area is defined.

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REVISIONS	DATE

PROJECT MANAGER: JDH  
 DRAWING BY: ADO  
 JURISDICTION: TOWN OF FORT MYERS BEACH  
 DATE: 11-20-2017

SHEET TITLE:  
**PARKING  
 LOCATIONS &  
 CALCULATIONS**

SHEET NUMBER: X-501-PARK  
 JOB/FILE NUMBER: 30479





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PROJECT MANAGER: TME

DRAWING BY: DAL

JURISDICTION: TOWN OF FORT MYERS BEACH

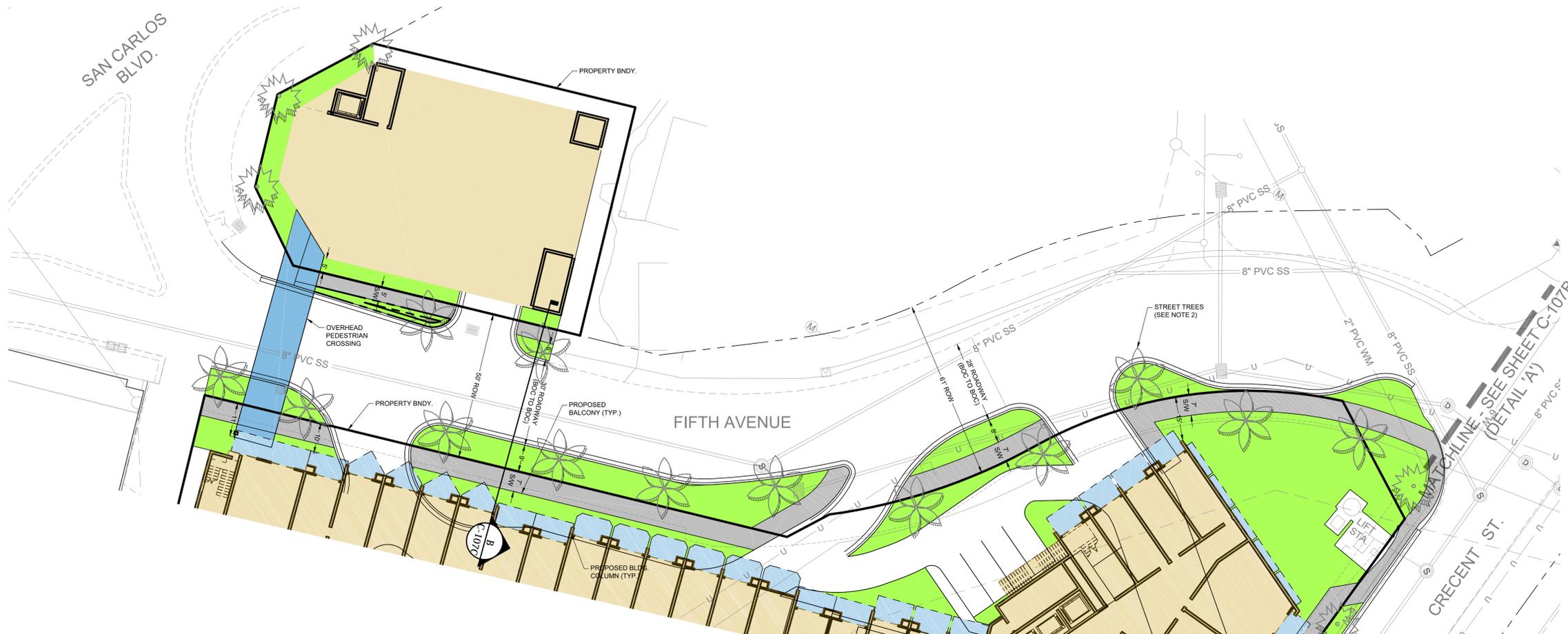
DATE: 11/17/2017

SHEET TITLE:

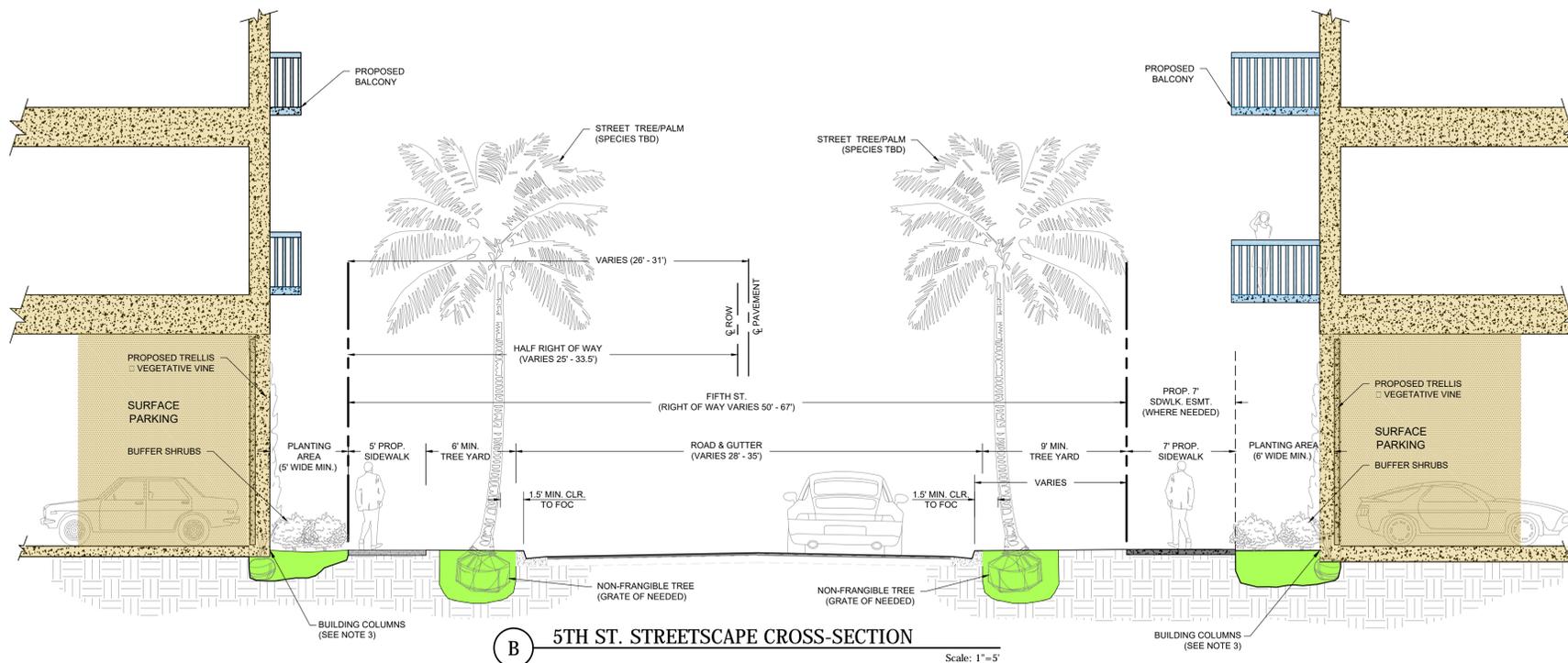
**RIGHT OF WAY &  
SIDEWALK/BUFFER  
PLAN**

SHEET NUMBER: X-504-RW.02

JOB/FILE NUMBER: 15069-13



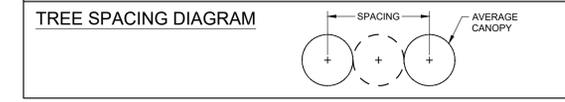
**A FIFTH AVENUE**  
Scale: 1"=20'



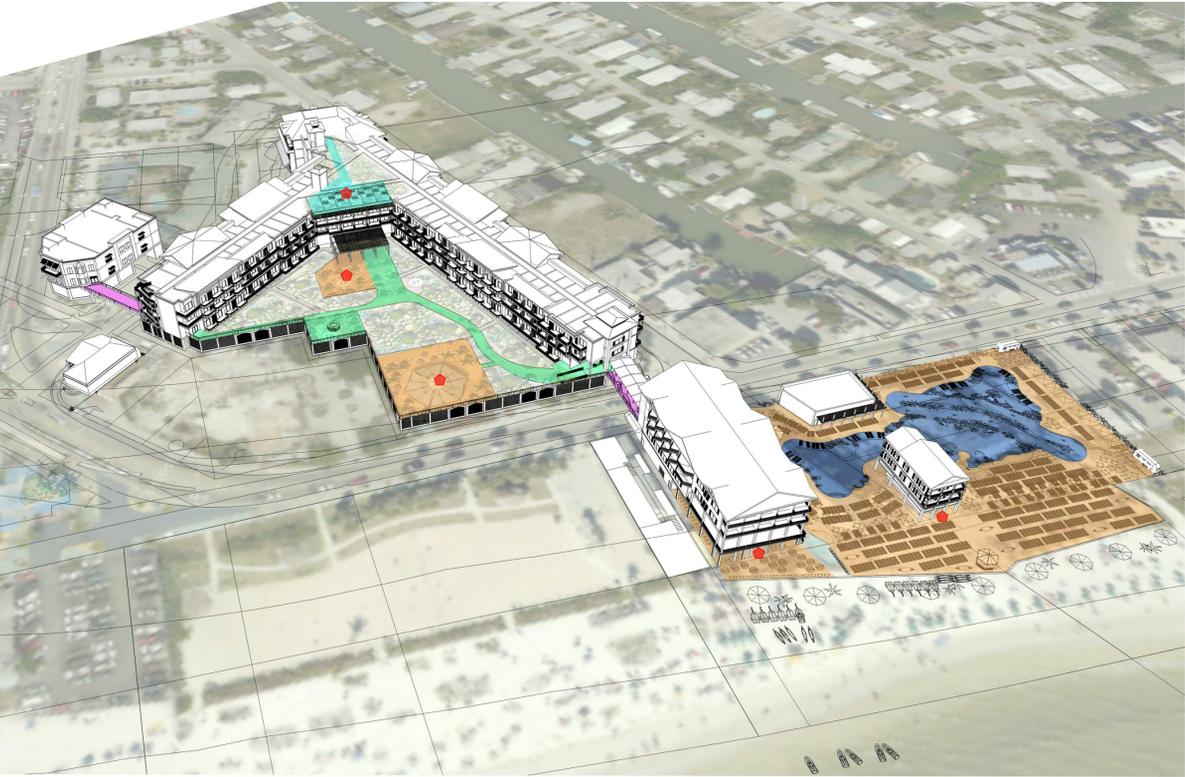
**B 5TH ST. STREETSCAPE CROSS-SECTION**  
Scale: 1"=5'

LEGEND	
	PROPOSED BUILDING
	PROPOSED BUILDING OVERHANG
	PROPOSED SIDEWALK
	PROPOSED LANDSCAPE AREA

- NOTES:
- FINAL STREET TREE SPACING BASED ON SPECIES SELECTED.
  - STREET TREE SPACING IS SPECIES DEPENDANT. TREES/PALMS SHALL BE SPACED SO AS TO PROVIDE A CONTINUOUS CANOPY BASED ON AVERAGE CANOPY SIZE FOR THE SPECIES, BUT WITH EVERY OTHER TREE/PALM REMOVED. NOTE: FOR COCONUT PALMS THE AVERAGE CANOPY IS ±20' WIDE RESULTING IN A 40' AVERAGE SPACING & 12' FOR SABAL PALMS RESULTING IN A 24' AVERAGE SPACING. FINAL LOCATION AND SPACING BASED ON EXISTING CONDITIONS (I.E. UTILITIES) AND TO ENHANCE ARCHITECTURAL DETAILS OF THE PROPOSED BUILDING.
  - BUILDING COLUMNS MAY ENCRoACH A MAX. OF 2' INTO THE 5' WIDE PLANTING AREA.







3D AERIAL OF ENTIRE DEVELOPMENT

PROJECT:  
**A PROPOSED  
 FMB/TPI  
 JOINT EFFORT TO  
 RESTORE AND TO  
 REINVIGORATE THE  
 DOWNTOWN BEACH  
 AREA**

LOCATION:  
 FORT MYERS  
 BEACH FLORIDA

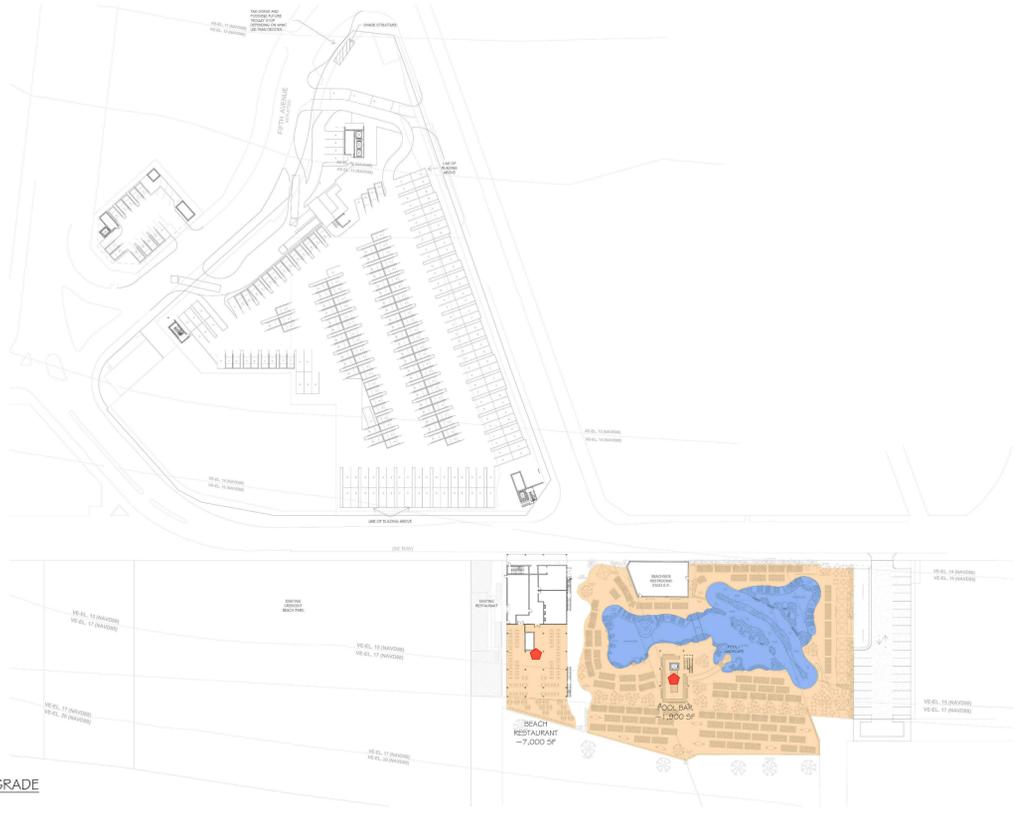


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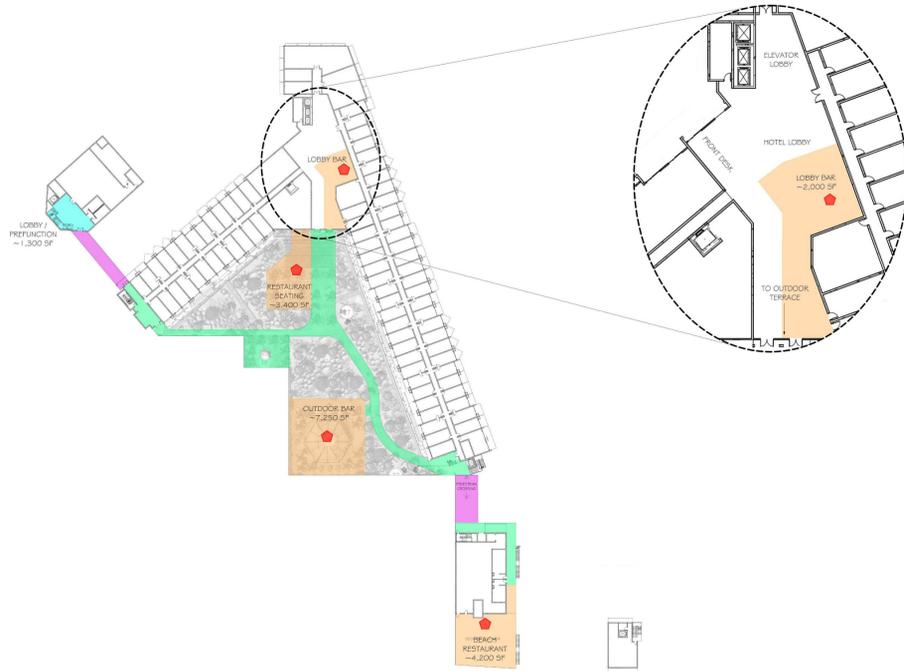
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FIRST FLOOR / GRADE



SECOND FLOOR

CONSUMPTION ON PREMISES DIAGRAM

POINT OF SALE -		POOL AREA -		PRIVATE EVENT AREA -	
PEDESTRIAN WALKWAYS -		PEDESTRIAN BRIDGE -		GENERAL COP AREA -	

REVISIONS DATE

PROJECT MANAGER: JDH  
 DRAWING BY: ADO  
 JURISDICTION: TOWN OF FORT MYERS BEACH  
 DATE: 11-20-2017

SHEET TITLE:  
**CONSUMPTION ON  
 PREMISES  
 DIAGRAMS**

SHEET NUMBER: X-506-COP.01

JOB/FILE NUMBER: 30479



